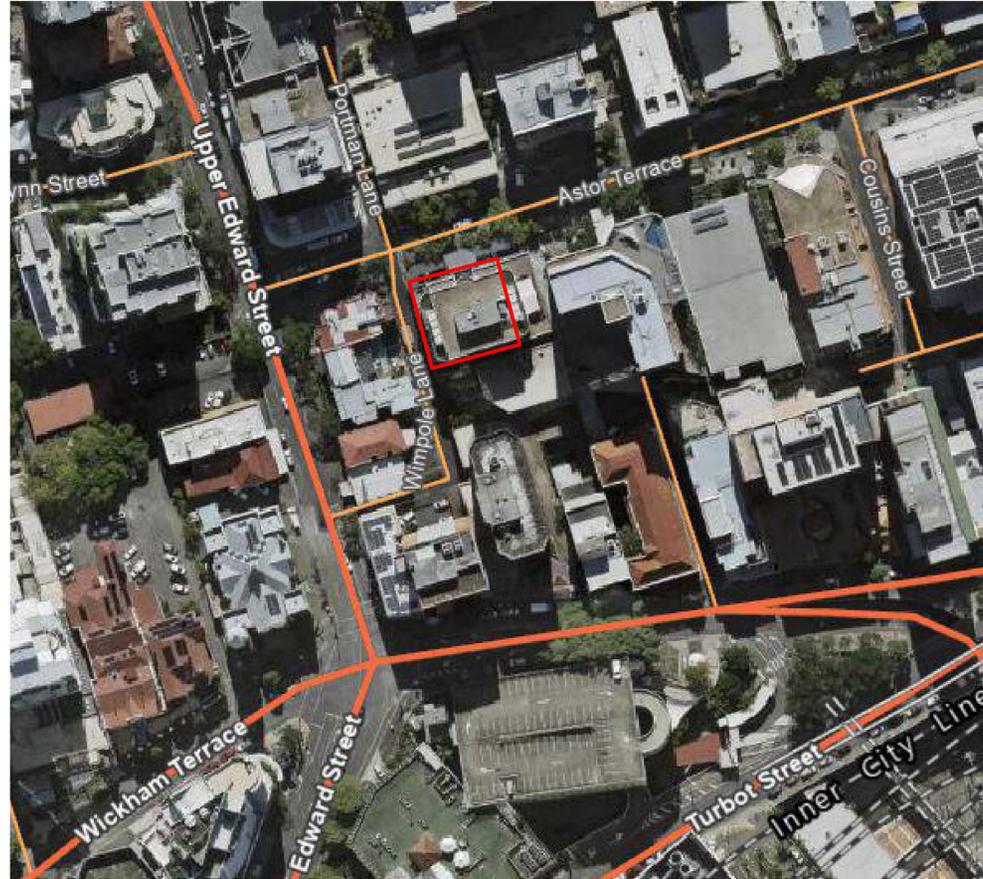


15 ASTOR TERRACE  
SPRING HILL



DRAWING LIST

SHEET	SHEET NAME	REVISION	Current Revision Description
CD 000	COVER SHEET	D	ISSUED FOR TENDER
CD 001	GENERAL NOTES	C	ISSUED FOR TENDER
CD 002	FINISHES SCHEDULE	C	ISSUED FOR TENDER
CD 100	EXISTING FLOOR PLAN	C	ISSUED FOR TENDER
CD 102	GENERAL ARRANGEMENT PLAN	F	ISSUED FOR TENDER
CD 103	DEMOLITION PLAN	C	ISSUED FOR TENDER
CD 110	PARTITION PLAN	D	ISSUED FOR TENDER
CD 112	PARTITION SETOUT	C	ISSUED FOR TENDER
CD 120	FINISHES PLAN	C	ISSUED FOR TENDER
CD 130	FURNITURE AND JOINERY LOCATION PLAN	C	ISSUED FOR TENDER
CD 132	JOINERY PLAN	C	ISSUED FOR TENDER
CD 150	REFLECTED CEILING PLAN	C	ISSUED FOR TENDER
CD 200	WALL ELEVATIONS	C	ISSUED FOR TENDER
CD 201	WALL ELEVATIONS	C	ISSUED FOR TENDER
CD 400	JOINERY DETAILS	C	ISSUED FOR TENDER
CD 401	JOINERY - JN01	C	ISSUED FOR TENDER
CD 402	JOINERY - JN02, JN03, JN04, JN05	C	ISSUED FOR TENDER
CD 403	JOINERY - JN06	C	ISSUED FOR TENDER
CD 404	COURTYARD	C	ISSUED FOR TENDER
CD 405	COURTYARD JOINERY	C	ISSUED FOR TENDER
CD 406	WORKSTATIONS	C	ISSUED FOR TENDER
CD 407	BOOTH	C	ISSUED FOR TENDER
CD 500	DETAILS	C	ISSUED FOR TENDER
CD 501	DETAILS	C	ISSUED FOR TENDER
CD 600	PARTITION DETAILS	C	ISSUED FOR TENDER
CD 610	PARTITION JUNCTION DETAILS	C	ISSUED FOR TENDER
CD 620	FLOOR JUNCTION DETAILS	C	ISSUED FOR TENDER
CD 640	DOOR PLAN DETAILS	C	ISSUED FOR TENDER
CD 900	DOOR SCHEDULE	C	ISSUED FOR TENDER
CD 901	DOOR HARDWARE SCHEDULE	C	ISSUED FOR TENDER

GENERAL NOTES

1. CONFIRM ALL DIMENSIONS AND EXISTING INFRASTRUCTURE ON SITE PRIOR TO CONSTRUCTION.
2. ALL WORK IS TO COMPLY WITH IN ALL RESPECTS TO THE RELEVANT AUSTRALIAN BUILDING STANDARDS AND LOCAL COUNCIL LAWS / REGULATIONS.
3. ANY DISCREPANCIES (ON DRAWING OR ON SITE) TO BE REPORTED TO CONTRACTOR PRIOR TO MANUFACTURE.
4. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DRAWINGS.
5. DOCUMENTS TO BE READ IN CONJUNCTION WITH CONSULTANTS AND RELEVANT FFE DOCUMENTATION.

D	ISSUED FOR TENDER	08/05/24	LC
C	FOR APPROVAL	29/04/24	LC
B	FOR CLIENT REVIEW	16/04/24	LC
A	DESIGN DEVELOPMENT FOR REVIEW	14/02/24	LC
REV	DESCRIPTION	DATE	ISSUED BY



LEVEL 2, 109 EDWARD STREET, BRISBNE  
27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

PROJECT NAME / ADDRESS  
ASTOR TERRACE

CLIENT  
DeMartini

DRAWING  
COVER SHEET

PROJECT # 2023000  
DATE 08.05.24  
SCALE @ A1 @ A1  
DRAWN XXX CHKD XXX  
DRAWING # REVISION  
CD 000 D

DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK. Original sheet size A1 (841x594)

## GENERAL SCOPE OF WORKS

- ALL NEW WALLS, COLUMNS, DOORS & FLUSH PLASTERBOARD CEILINGS TO BE IN PAINTED IN ACCORDANCE WITH THE FFE SCHEDULE AND DRAWINGS.
- REPAINT ALL EXISTING RETAINED PAINTED SURFACES. FINISHES TO BE IN ACCORDANCE WITH FFE SCHEDULE AND DRAWINGS.
- SUPPLY AND INSTALL NEW CARPET & FLOORING AS SPECIFIED THROUGHOUT IN ACCORDANCE WITH FFE SCHEDULE AND DRAWINGS
- SUPPLY AND INSTALL NEW ACOUSTIC CEILING TILES AND GRID AS SCHEDULED TO EXTENT INDICATED ON DRAWINGS. SUPPLY AND INSTALL CEILINGS AS SHOWN.
- SUPPLY AND INSTALL ALL NEW PARTITIONS, DOORS, FINISHES, FITTINGS AND FIXTURES AS INDICATED ON DRAWINGS, SPECIFICATION& SCHEDULES.
- MAKE GOOD EXISTING FINISHED SURFACES AS REQUIRED.
- REMOVE EXISTING SIGNAGE AND REPLACE WITH NEW IN ACCORDANCE WITH RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS. FOR FONT TYPE, SIZES AND OTHER INFORMATION. REFER TO SIGNAGE PACKAGE & FFE SCHEDULE.
- REFER TO SHOP DRAWINGS FOR JOINERY PRIOR TO COMMENCING RELEVANT WORK.
- NOTE: THE ABOVE SCOPE IS NOT DEFINITIVE. PLEASE REFER TO DRAWINGS, SPECIFICATIONS AND SCHEDULES FOR ADDITIONAL WORKS.

## GENERAL NOTES

- THIS COVER SHEET MUST BE CIRCULATED WITH ALL ISSUED DOCUMENTATION
- THE DIMENSIONS AND EXISTING INFRASTRUCTURE CONTAINED WITHIN THIS DOCUMENTATION IS TO BE CONFIRMED ON SITE PRIOR TO CONSTRUCTION.
- IT IS THE RESPONSIBILITY OF THE BUILDER TO DETERMINE EXACT STRUCTURAL DETAILS AND SECURE STRUCTURAL ENGINEERS CERTIFICATION FOR ALL STRUCTURAL WORKS INCLUDING (BUT NOT LIMITED TO) GLAZING, SIGNAGE, HANGING FIXTURES AND ALL BUILT ELEMENTS.
- IT IS THE RESPONSIBILITY OF THE BUILDER TO ACHIEVE BA AND ENSURE APPROVALS ARE RECEIVED.
- SITE TO BE REVIEWED AND ENGAGE APPROPRIATE CONTRACTORS TO ENSURE CERTIFICATION FOR ALL STRUCTURAL WORKS COMPLY WITH RELEVANT AUSTRALAIN STANDARDS AND LOCAL COUNCIL LAWS / REGULATIONS.
- CONTRACTOR TO LIASE WITH ELECTRICAL, MECHANICAL AND FIRE CONTRACTORS TO ENSURE ALL REQUIREMENTS ARE APPROPRIATE AND ACCESSIBLE.
- ANY DISCREPANCIES (ON DRAWING OR ON SITE) OR THE NEED FOR CLARIFICATION TO BE REPORTED TO CONTRACTOR PRIOR TO MANUFACTURER. ALL WORKS COMPLY WITH RELEVANT AUSTRALAIN STANDARDS AND LOCAL COUNCIL LAWS / REGULATIONS.
- CONTRACTOR TO CONFIRM STABILITY AND FEASIBILITY OF ALL UNITS/COMPONENT PRIOR TO MANUFACTURE.
- DOCUMENTATION TO BE READ IN CONJUNCTION WITH RELEVANT CONTRACTOR DOCUMENTS AND CONTRACTOR SUPPLIED FFE SCHEDULE.
- DESIGNER TO APPROVE ALL CONTRACTORS DETAILED DRAWINGS AND SET OUT PRIOR TO CONSTRUCTION.
- ANY COST VARIATIONS MUST BE APPROVED BY CONTRACTOR PRIOR TO EXECUTION. NON APPROVED COST VARIATIONS WILL NOT BE MET.

## DEMOLITION NOTES

- REVIEW DEMOLITION SCOPE IN ASSOCIATION WITH PROPOSED WORKS TO ACCURATELY DETERMINE THE EXTENT OF DEMOLITION AND THE EXTENT OF WORKS TO BE RETAINED. OVER DEMOLITION SHALL BE REINSTATED AT NO COST TO THE PROPRIETOR.
- DEMOLITION WORKS SHALL OCCUR WITH MINIMUM DISRUPTION TO THE DAILY ACTIVITIES OF BUILDING OCCUPANTS. PUBLIC AREAS SHALL BE KEPT FREE OF DEBRIS AND SUIT AT ALL TIMES.
- REDUCE AND RESTRICT DUST GENERATED BY DEMOLITION WORKS TO A PRACTICAL MINIMUM.
- PROTECT PROPERTY WHICH IS TO REMAIN FROM DAMAGE. USE APPROPRIATE MEANS INCLUDING SHORING, PROTECTIVE SCREENS AND THE LIKE.
- REMOVE ALL EXISTING SIGNAGE AND MAKE GOOD DOORS AND WALLS SHOWN TO BE RETAINED.
- REFER TO SERVICE CONSULTANTS DRAWINGS AND INSTRUCTIONS FOR EXTENT AND PROCEDURE FOR DEMOLITION WORKS TO EXISTING MECHANICAL, ELECTRICAL AND FIRE PROTECTION SERVICES.
- REMOVE ALL WALLS, FLOORS AND CEILINGS SHOWN AS BROKEN LINES. MAKE GOOD ALL SURFACES AFFECTED BY DEMOLITION WORKS
- REMOVE ALL PROTRUDING FLOOR FIXINGS, FILL BOLT HOLES AND MAKE GOOD ANY DAMAGE TO FLOOR SURFACES. MAKE GOOD DISUSED FLOOR PENETRATIONS TO MAINTAIN FIRE RATINGS AND ENSURE ALL FLOOR STRUCTURE IS MADE LEVEL
- ENSURE ALL SERVICES ARE DISCONNECTED PRIOR TO DEMOLITION. REMOVE AND DISPOSE OF ALL EXPOSED REDUNDANT WIRING AND SERVICES (REFER CONSULTANTS DRAWINGS AND INSTRUCTIONS).
- REMOVE ALL EXISTING PARTITIONS, WORKSTATIONS AND JOINERY ITEMS ETC, WHICH ARE NOT NOMINATED TO REMAIN. EXISTING PARTITIONS AND FITOUT GENERALLY NOT SHOWN ON DRAWINGS.
- CONTRACTOR TO COMPLETE SITE VISIT DURING TENDER TO ASCERTAIN FULL EXTENT OF DEMOLITION OF EXISTING FITOUT TO ENSURE SHELL AND CORE TO SUIT PROPOSED BUILDING WORKS.
- PROVIDE A WORK METHOD STATEMENT OUTLINING ALL DEMOLITION WORKS ARE TO BE COMPLETED IN ACCORDANCE WITH RELEVANT AUSTRALIAN STANDARDS, LOCAL COUNCILS AND OCCUPATIONAL (WORKPLACE) HEALTH & SAFETY REQUIREMENTS.

NOTE: A HAZARDOUS MATERIALS AUDIT AND/OR METHOD OF ABATEMENT OF ANY HAZARDOUS MATERIALS HAS NOT BEEN UNDERTAKEN. THE BUILDER SHALL DETERMINE AND ALLOW TO UNDERTAKE ANY NECESSARY HAZARDOUS MATERIALS AUDITS OR METHODS OF ABATEMENT TO COMPLETE WORKS - INCLUDING WORKCOVER AND BUILDING INDUSTRY REQUIREMENTS.

## FURNITURE NOTES

- PLANS TO BE READ IN CONJUNCTION WITH FF&E SCHEDULE AND JOINERY PACKAGE.
- WORKSTATIONS LOCATIONS TO BE MARKED ON SITE PRIOR TO CONSTRUCTION BASED OFF DRAWINGS AND CONTRACTOR'S APPROVAL.
- WORKSTATION AND JOINERY SHOP DRAWINGS MUST BE SUBMITTED AND APPROVED BY CONTRACTOR FOR APPROVAL PRIOR TO MANUFACTURING.
- REFER TO ELECTRICAL ENGINEERS SPECIFICATIONS FOR REQUIRED POWER AND DATA TO WORKSTATIONS. REFER TO CEILING PLANS FOR POWER POLE LOCTAIONS.
- REFER TO FF&E SCHEDULE FOR TYPE, QUANTITY & FINISH OF LOOSE FURNITURE ITEMS.
- SITE MANAGER TO COORDINATE WITH SUBCONTRACTOR'S FOR DELIVERIES, INSTALLATIONS AND PLACEMENT OF ALL FURNITURE.

## POWER AND DATA NOTES

- PLANS TO BE READ IN CONJUNCTION WITH FF&E SCHEDULE AND DRAWING PACKAGE
- ASSESS ALL EXISTING POWER AND DATA WITH CLIENT NEEDS .
- ALL POWER AND DATA QUANTITIES TO BE APPROVED BY CLIENT AND CONTRACTOR
- CONTRACTOR TO APPROVE ALL LOCATIONS AND COLOURS OF OUTLETS.
- REFER TO ELECTRICAL ENGINEERS SPECIFICATIONS FOR REQUIRED POWER AND DATA TO WORKSTATIONS, EQUIPMENT AND LIGHTING. REFER TO REFLECTED CEILING PLANS FOR POWER POLES.

## FINISHES NOTES

- REFER TO FFE SCHEDULE FOR ALL FINISHES. FINISHES PLAN IS TO BE READ IN CONJUNCTION WITH FFE SCHEDULE.
- ALLOW TO PAINT ALL INTERNAL PARTITION WALL SURFACES INCLUDING BASE BUILDING WALLS AND COLUMNS.
- UNLESS SPECIFIED OTHERWISE, ALL NEW PLASTERBOARD PARTITION & BASE BUILDING WALL & COLUMN FINISH TO BE PT1.
- GLAZING FILM TO BE INSTALLED IN ACCORDANCE WITH RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS. REFER TO FF&E AND ELEVATIONS FOR DETAILS. FILM TO BE APPLIED TO INTERNAL SIDE OF GLASS.
- PARTITION SKIRTING TO BE 150mm FLAT BAR POWDERCOATED BLACK / WHITE.
- WHERE APPLICABLE CENTRE FLOOR JUNCTION TO CENTRE OF DOOR MULLION. RUN FLOOR FINISHES INTO JOINERY TOE SPACE.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE ALL FLOOR FINISHES ARE INSTALLED TO COMPLY WITH RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS. CONTRACTOR TO PROVIDE ALL RELEVANT CERTIFICATION FOR SIGN OFF BEFORE CONSTRUCTION COMMENCEMENT.
- IT IS THE CONTRACTOR'S RESPONSIBILITY TO ENSURE FLOOR FINISHES ARE SUPPLIED & INSTALLED TO MANUFACTURES / SUPPLIER'S STANDARDS.
- A SMAPLE MUST BE PROVIDED TO DESIGNER & CLIENT SIGN OFF BEFORE FLOOR FINISH IS LAID.
- PROVIDE CLEANING MANUAL, WARRANTIES, FIRE CRT FOR CLIENT SIGN OFF BY MANUFACTURER / SUPPLIER BEFORE CONSTRUCTION.
- SUPPLIER / INSTALLER TO PROVIDE LETTER TO CLIENT & DESIGNER STATING THE FLOOR HAS BEEN INSTALLED TO MANUFACTURE STANDARDS AND RECOMMENDATIONS THAT THE FLOOR FINISH IS FIT FOR PURPOSE SO AS WARRANTY IS GARNETED.
- ALLOW 50mm SETDOWN & PREPARE EXISTING FLOOR SLAB TO AMENITIES TO RECEIVE NEW FLOOR FINISHES
- ALL FLOOR JUNCTIONS TO HAVE 3mm THICK STAINLESS STEEL ANGLES TO SIT FLUSH WITH FFL.

## CONSTRUCTION NOTES

- ALL GLAZING SHALL BE BUTT-JOINTED UNLESS OTHERWISE NOTED. ALL GLAZING PARTITIONS TO COMPLY WITH RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS. MAXIMUM WIDTH OF PANEL - 1200mm, MAXIMUM 3NO. PANELS IN ONE, MAXIMUM PANEL SIZE 1200mm x 2700mm.
- PROVIDE 100mm CONTINUOUS FILM DECALS ON ALL FLOOR TO CEILING GLASS STARTING @ 1000mm AFFL UNLESS OTHERWISE SPECIFIED. (REFER TO FFE SCHEDULE FOR DECAL / GRAPHIC DETAILS).
- OPERATION OF DOOR LATCHES TO CONFORM TO RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS.
- A DOOR IN THE PATH OF TRAVEL TO A REQUIRED EXIT, MUST BE OPENABLE WITHOUT A KEY FROM THE SIDE FACING A PERSON SEEKING EGRESS. THIS MUST BE OPENABLE BY A SINGLE HAND ACTION ON A DEVICE WHICH IS TO MATCH EXISTING AND BETWEEN 900mm AND 1200mm AFFL. DOOR HANDLES CENTRE TO BE 1050mm AFFL.
- POWER OPERATED SLIDING DOORS SERVING AS EXITS ARE TO BE CAPABLE OF BEING OPENED BY HAND UNDER A FORCE OF NOT MORE THAN 110N UPON MALFUNCTION OR FAILURE OF THE POWER SOURCE.
- ALL PATH OF TRAVEL TO REQUIRED EXITS TO BE MINIMUM 1050mm WIDE.
- ALL NEW DOORS TO HAVE A MINIMUM CLEAR OPENING OF 850mm WITH DOOR LEAF OPEN AT 90°, AND 850mm MINIMUM OPEN WIDTH FOR SLIDING DOOR WITH 100mm CLEARANCE TO HANDLE FROM ALTERNATIVE JAMB (NOMINAL 1100mm WIDE)
- ALL FLOOR SLAB, CORE AND FIRE ZONE PENETRATIONS TO BE APPROPRIATELY SEALED TO SPECIFIED FRL LEVELS. REFER TO GENERAL MATERIALS SCHEDULE FOR BASE BUILDING FRLS.
- PENETRATIONS FOR P.V.C. WASTES, SLEEVES FOR HYDRAULIC SERVICES, ACCESS PENETRATION FOR POWER WITH PYRO PANEL FIRE COLLAR OR EQUIVALENT TO SPECIFIED FRL LEVELS.
- FLOOR PREPARATION: ALLOW TO ARDIT ENTIRE FLOOR AS NECESSARY TO ENSURE LEVEL FLOOR FINISHES BETWEEN FINISHED FLOOR SURFACES.
- ALL CARPET/TILE JUNCTION TO HAVE 3mm THICK STAINLESS STEEL ANGLES TO SIT FLUSH WITH FFL.
- ALLOW FOR PAINTING TO ALL WALL SURFACES PRIOR TO FIXING ANY JOINERY OR WALL PANELS TO WALL.
- PROVIDE SKIRTING AS SPECIFIED TO BASE BUILDING COLUMNS, EXISTING WALLS AND ALL NEW PARTITIONS.
- PROVIDE FULL WET TRAY TO ALL AMENITY FLOOR AREA, RETURN 150mm UP WALLS, AND FULL SHOWER COMPARTMENT.
- ELECTRICAL SWITCHBOARD LOCATED IN THE PATH OF TRAVEL TO EXITS TO BE ENCLOSED IN METAL OR OTHER NON-COMBUSTIBLE CABINETS WITH SMOKE PROOF DOORS.
- FIRE INDICES OF MATERIALS, LININGS AND SURFACE FINISHES TO COMPLY WITH RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS.
- FIRE HYDRANT, FIRE HOSE REEL INSTALLATIONS & PORTABLE FIRE EXTINGUISHERS TO COMPLY WITH RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS.
- BALUSTRADING & HANDRAILS TO BE AT LEAST 1000mm ABOVE LANDINGS AND 865mm ABOVE THE NOSINGS OF TREADS, MAXIMUM 125mm SPACING BETWEEN BALUSTERS & 80mm SPACING FOR S.S WIRES.
- NON SLIP FINISHES TO BE PROVIDED TO ALL STEPS, RAMPS & LANDINGS COMPLIANT WITH RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS. CONTRACTOR TO VERIFY SLIP RATING COMPLIANCE BEFORE INSTALLATION. MAX RISER HEIGHTS TO ALL SINGLE STEPS NOT TO EXCEED A MINIMUM OF 190mm, LENGTH FOR TREADS TO BE AT LEAST 250mm
- INWARD SWINGING TOILET DOORS TO ENCLOSED SANITARY COMPARTMENTS, WHERE <1200mm BETWEEN THE WATER CLOSET & DOORWAY, TO BE READILY REMOVABLE FROM THE OUTSIDE.
- ALL SERVICE PENETRATIONS THROUGH FIRE RATED BUILDING ELEMENTS TO BE TREATED IN ACCORDANCE WITH RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS IN ORDER TO MAINTAIN THE FIRE RESISTANCE LEVEL OF THE ELEMENT.
- SANITARY FACILITIES FOR PEOPLE WITH DISABILITIES TO COMPLY WITH RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS.
- BRAILLE & TACTILE SIGNAGE TO BE IN ACCORDANCE WITH RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS & TO THE SATISFACTION OF THE RELEVANT BUILDING SURVEYOR.
- EMERGENCY LIFTS TO COMPLY WITH RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS.
- NO NEW BUILDING WORKS TO ENCROACH TITLE BOUNDARY

## CEILING NOTES

- REMOVE CEILING TILES TO ACCOMMODATE NEW LIGHTING IN ACCORDANCE WITH REFLECTED CEILING PLAN.
- INSPECT CEILING TILES & SUPPORTING GRID, NOTIFY THE SITE MANAGER OF ANY DEFECTIVE PANELS.
- EXISTING SET PLASTERBOARD CEILINGS TO BE MAINTAINED,UNLESS OTHERWISE NOTED. ALLOW NEW PAINT FINISH TO SURFACE.
- ALLOW TO SUPPLY & INSTALL NEW VERTICAL BLINDS AS SPECIFIED.
- RELOCATE OR SUPPLY & INSTALL NEW TROFFER DOWNLIGHTS TO MATCH EXISTING AS SHOWN ON THE REFLECTED CEILING PLAN.
- SUPPLY & INSTALL NEW SUSPENDED LIGHT FITTINGS AS SPECIFIED IN CONJUNCTION WITH DRAWING PACKAGE.
- SUPPLY & INSTALL ADDITIONAL ILLUMINATED EXIT SIGNS & EMERGENCY LIGHTING WITH RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS.
- SUPPLY & INSTALL ADDITIONAL AIR DIFFUSERS TO SATISFY RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS.
- UPGRADE PROVISION FOR SMOKE DETECTION IN ALL ROOMS & AREAS TO SATISFY RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS.
- INDIVIDUAL SWITCHES TO BE PROVIDED TO MEETING ROOMS & PRIVATE OFFICES. ALL SWITCHES CENTRE TO BE AT 1000mm FFL.
- ALL TROFFERS THAT CONFLICT WITH NEW WALLS ARE TO BE RELOCATED. CONTRACTOR TO APPROVE POSITIONS ON SITE.
- LIGHTING SETOUT TO TAKE PRECEDENCE. MECHANICAL AND FIRE SETOUTS TO FOLLOW LIGHTING. CONTRACTOR TO COORDINATE SETOUTS FOR APPROVAL BY CONTRACTOR.
- CONFIRM ALL LIGHTING LOCATIONS AND HEIGHTS OF PENDANT LIGHTS WITH CONTRACTOR.
- CONTRACTOR TO ADVISE LOCATION OF DIFFUSER / ACCESS PANELS AND FIRE SERVICES PRIOR TO INSTALLATION. CONTRACTOR TO APPROVE.

## JOINERY NOTES

- ALL FIXING SHALL BE CONCEALED FROM SIGHT IN FINISHED WORK. PLASTIC CAPS ACCEPTABLE ONLY WHERE LOCATED BEHIND CUPBOARD DOORS.
- GIVEN VERTICAL DIMENSIONS TO FLOOR ARE TAKEN FROM FFL (FINISHED FLOOR LEVEL).
- THE JOINER IS RESPONSIBLE FOR ENSURING THAT ADEQUATE CLEARANCES ARE ALLOWED AROUND MICROWAVES, FRIDGES AND OTHER APPLIANCES TO COMPLY WITH MANUFACTURERS REQUIREMENTS.
- JOINER TO COORDINATE TO ENSURE THAT ALL NEW AND EXISTING PARTITIONS HAVE ADEQUATE STRENGTH TO SUPPORT FULLY LOADED JOINERY UNITS (IN ACCORDANCE WITH STANDARD OFFICE PRACTICE)
- JOINER TO ENSURE THAT ALL JOINERY HAS SUFFICIENT CONSTRUCTION TO ENSURE STABILITY OF JOINERY (& SUPPORT STRUCTURES) WHEN FULLY LOADED (IN ACCORDANCE WITH STANDARD OFFICE PRACTICE)
- JOINER TO SET OUT CUPBOARD DOORS TO ENSURE ALIGNMENT IS INSIDE BENCH LINE.
- ALL EXPOSED EDGES (UNLESS OTHERWISE INDICATED) ARE TO BE ABS EDGING.

- CONSTRUCTION
- CARCASS TO BE CONSTRUCTED FROM 18mm MOISTURE RESISTANT E0/E1 BOARD UNLESS SHOWN OTHERWISE ON DRAWINGS. JOINER TO ENSURE THAT DOOR PANEL THICKNESS IS SUFFICIENT TO PREVENT WARPING OF PANELS.
  - ENSURE SOFT CLOSERS ARE APPLIED TO ALL DRAWERS, AND CUPBOARD DOORS.
  - ENSURE RUBBER STOPPERS ARE PLACED INTERNALLY ON ALL CUPBOARD DOORS.

- DRAWERS
- DRAWERS TO BE CONSTRUCTED OF PRE FINISHED 12mm E0/E1 BOARD. DRAWER SLIDES TO BE "HAFELE" BALL BEARING RUNNER, HEAVY DUTY FULL EXTENSION TYPE. SIDE FIXED AND OF SUITABLE LENGTH. SLIDES TO BE BLACK / WHITE / STAINLESS STEEL IN ALL CARCASES. DRAWER FACE TO BE FINISHED AS NOTED ON DRAWINGS.

- HINGES
- HINGES TO JOINERY DOOR TO BE 90/170° OPENING ALL METAL SPRUNG FULLY CONCEALED HINGES UNLESS OTHERWISE NOTED. JOINER TO ENSURE THAT SUFFICIENT QUANTITY & STRENGTH HINGES ARE INSTALLED FOR THE SIZE, WEIGHT & USE OF THE DOORS

- SHELF SUPPORT
- SHELVES WHERE ADJUSTABLE TO BE MOUNTED ON "HETTICH" 5mm DIA. SHELF SUPPORTS (CATALOGUE No. 76 010 398) CHROMATED STEEL FINISH / WHITE / BLACK FINISH.

- HANDLES
- REFER TO FFE SCHEDULE AND DRAWINGS FOR ORIENTATION AND SPECIFICATION

- FINISHES
- ALL JOINERY FINISHES TO READ IN CONJUNCTION WITH DRAWINGS AND FFE SCHEDULE.

## SERVICES & ACOUSTIC PERFORMANCE NOTES

- SMOKE ALARMS WILL BE PROVIDED IN ACCORDANCE WITH RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS.
- NEW MECHANICAL AIR SYSTEMS RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS.
- SANITARY FACILITIES WILL BE MECHANICALLY ENTAILED IN ACCORDANCE WITH RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS FOR ACCEPTABLE INDOOR AIR QUALITY.
- NOISE EMISSIONS FROM EXTERIOR UNITS TO COMPLY WITH LOCAL COUNCIL CONDITIONS – NOT EXCEEDING LA90, 15 MIN BY MORE THEN 5DB AT ANY BOUNDARY.

## PARTITION NOTES

- THIS DRAWING IS TO BE READ IN CONJUNCTION WITH PARTITION DETAIL DRAWINGS AND SPECIFICATIONS.
- BUILDER TO CO-ORDINATE WITH JOINERY PACKAGE AND PROVIDE EXTRA STUDS AND NOGGINS AS REQUIRED TO PROVIDE STRENGTH AND STABILITY FOR FIXING OF WALL HUNG JOINERY ITEMS.
- REFER TO PARTITION DETAIL DRAWINGS FOR DESIGN INTENT OF ALL CONSTRUCTION. IF UNCLEAR SEEK DIRECTION FROM DESIGNER.
- ALLOW TO PAINT ALL WALLS (INCLUDING BASE BUILDING WALLS & COLUMNS) LOW SHEEN ACRYLIC WITH SPECIFIED WALL COLOUR IN FFE SCHEDULE.
- ALLOW FOR MDF INFILLS TO WINDOW MULLIONS.
- PROVIDE HMR TO ALL WET AREAS.
- ALL DIMENSIONS TO BE CONFIRMED ON SITE
- WHERE JUNCTIONS OCCUR AT CORNERS OF EXISTING BUILDING WORKS, PARTITION TO BE SET OUT TO ALIGN WITH FINISHED FACES UNLESS NOTED OTHERWISE.
- ALL TRADES, INCLUDING INSTALLATION AND SUPPLY ITEMS, TO COMPLY WITH RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS.
- ALL GLAZING TO HAVE GRAPHIC DECAL COMPLYING WITH RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS.
- REFER TO DOOR SCHEDULE FOR ALL DOOR SIZES & SPECIFICATIONS.
- WHERE ALIGNMENT IS WITH THE FACE OF AN EXISTING COLUMN ENSURE PLASTERBOARD IS INSTALLED SHOWING NO VISIBLE JOIN.
- WHERE ALIGNMENT IS WITH THE FACE OF AN EXISTING WALL PROVIDE 10mm VERTICAL SHADOWLINE BREAK AT JUNCTION.

## ABBREVIATIONS

CODE	DESCRIPTION
C*	CHAIR
CA*	CEILING ACCESSORY
PB*	PLASTERBOARD
CL*	CEILING
CLT*	CEILING TILES
BBCL*	BASE BUILD CARPET
CP*	CARPET
CT*	CEILING TILE
D*	DOOR
FB*	FABRIC
FC*	FEATURE CEILING
FF*	FLOOR FINISH
FS*	FLUSH MOUNT SPRINKLER
FT*	FLOOR TILE
FW*	FEATURE WALL
H*	HANDLE
JH*	JOINERY HANDLE
J*	JOINERY
L*	LIGHT
LM*	LAMINATE
M*	MELAMINE
P*	PARTITION
PB*	PLASTERBOARD
PBCL*	PLASTERBOARD CEILING
PT*	PAINT
DP*	DOOR PAINT
BL	BLACK POWDERCOAT
WH	WHITE POWDERCOAT
RG*	RUG
SD*	SMOKE DETECTOR
SF*	SPECIALTY FINISH
SK*	SKIRTING
SP*	SPEAKER (EWIS)
ST*	STONE
T*	TABLE
TB*	TIMBER
TL*	TILE
TV*	TIMBER VENEER
VN*	VINYL
W*	WINDOW
WP*	WALL PAPER
WS*	WORK STATION
WT*	WALL TILE

GENERAL NOTES			
<p>1. CONFIRM ALL DIMENSIONS AND EXISTING INFRASTRUCTURE ON SITE PRIOR TO CONSTRUCTION.</p> <p>2. ALL WORK IS TO COMPLY WITH IN ALL RESPECTS TO THE RELEVANT AUSTRALIAN BUILDING STANDARDS AND LOCAL COUNCIL LAWS / REGULATIONS.</p> <p>3. ANY DISCREPANCIES (ON DRAWING OR ON SITE) TO BE REPORTED TO CONTRACTOR PRIOR TO MANUFACTURER.</p> <p>4. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DRAWINGS.</p> <p>5. DOCUMENTS TO BE READ IN CONJUNCTION WITH CONSULTANTS AND RELEVANT FFE DOCUMENTATION.</p>			
PROJECT NAME / ADDRESS ASTOR TERRACE			
<b>CLIENT</b> DeMartini			
<b>DRAWING</b> GENERAL NOTES			
PROJECT #		2023000	
DATE		08.05.24	
SCALE @ A1		1 : 5 @ A1	
DRAWN	WC	CHKD	LC
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CD 001	C		
DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK. Original sheet size A1 (841x594)			



L01 - PENDANT LIGHT MODERN MINIMALIST ALUMINUM LINEAR LED DIMMABLE, WHITE. 1500MM LENGTH



L02 - RECESSED LED - TRI COLOR LIGHT. WHITE



L03 - SILO FLEX PENDANT - VARYING HEIGHTS - WHITE. FEATURE PENDANT



L04 - LED CYLINDRICAL PLASTER WALL LIGHT. WHITE



L05 - STONEBROOK CONCRETE EXTERIOR LED WALL LIGHT. BLACK

- GENERAL NOTES**
1. CONFIRM ALL DIMENSIONS AND EXISTING INFRASTRUCTURE ON SITE PRIOR TO CONSTRUCTION.
  2. ALL WORK IS TO COMPLY WITH IN ALL RESPECTS TO THE RELEVANT AUSTRALIAN BUILDING STANDARDS AND LOCAL COUNCIL LAWS / REGULATIONS.
  3. ANY DISCREPANCIES (ON DRAWING OR ON SITE) TO BE REPORTED TO CONTRACTOR PRIOR TO MANUFACTURE.
  4. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DRAWINGS.
  5. DOCUMENTS TO BE READ IN CONJUNCTION WITH CONSULTANTS AND RELEVANT FFE DOCUMENTATION.

REV	DESCRIPTION	DATE	ISSUED BY
C	ISSUED FOR TENDER	08/05/24	LC
B	FOR CLIENT REVIEW	16/04/24	LC
A	DESIGN DEVELOPMENT FOR REVIEW	14/02/24	LC



LEVEL 2, 109 EDWARD STREET. BRISBNE  
27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

PROJECT NAME / ADDRESS  
ASTOR TERRACE

CLIENT  
DeMartini

DRAWING  
FINISHES SCHEDULE

PROJECT # 2023000  
DATE 08.05.24  
SCALE @ A1 @ A1  
DRAWN WC CHKD LC  
DRAWING # REVISION  
CD 002 C

DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK. Original sheet size A1 (841x594)



**EXISTING LEGEND**

	EXISTING BASE BUILDING WALL - CONFIRM WALL CONSTRUCTION ON SITE.
	AREA NOT INCLUDED IN SCOPE OF WORKS.

- GENERAL NOTES**
1. CONFIRM ALL DIMENSIONS AND EXISTING INFRASTRUCTURE ON SITE PRIOR TO CONSTRUCTION.
  2. ALL WORK IS TO COMPLY WITH IN ALL RESPECTS TO THE RELEVANT AUSTRALIAN BUILDING STANDARDS AND LOCAL COUNCIL LAWS / REGULATIONS.
  3. ANY DISCREPANCIES (ON DRAWING OR ON SITE) TO BE REPORTED TO CONTRACTOR PRIOR TO MANUFACTURE.
  4. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DRAWINGS.
  5. DOCUMENTS TO BE READ IN CONJUNCTION WITH CONSULTANTS AND RELEVANT FFE DOCUMENTATION.

**NLA 625SQM**

NOTE  
CONFIRM LEASE AREA VIA SURVEY - APPROX. 1780SQM

NOTE  
CONFIRM ALL DIMENSIONS AGAINST SURVEY. CHECK ALL DIMENSIONS ON SITE AND REFER ANY DISCREPANCIES TO ARCHITECT

REV	DESCRIPTION	DATE	ISSUED BY
C	ISSUED FOR TENDER	08/05/24	LC
B	FOR CLIENT REVIEW	16/04/24	LC
A	DESIGN DEVELOPMENT FOR REVIEW	14/02/24	LC



LEVEL 2, 109 EDWARD STREET, BRISBNE  
 27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

PROJECT NAME / ADDRESS  
ASTOR TERRACE

CLIENT  
DeMartini

DRAWING  
EXISTING FLOOR PLAN

PROJECT # 2023000  
 DATE 08.05.24  
 SCALE @ A1 1 : 100 @ A1  
 DRAWN WC CHKD LC  
 DRAWING # REVISION  
 CD 100 C

DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK.  
 Original sheet size A1 (841x594)



GF.01	ENTRY / RECEPTION FLOOR FINISH	TF01G
GF.02	WAITING / LOUNGE FLOOR FINISH	TF01
GF.03	TEA POINT FLOOR FINISH	TF01
GF.04	COURTYARD FLOOR FINISH	TF01
GF.05	BOARD ROOM FLOOR FINISH	CPT01
GF.06	QUIET / 2PAX CATCH UP FLOOR FINISH	TF01
GF.07	UTILITIES / IT FLOOR FINISH	TF01
GF.08	4 PAX MEETING / OFFICE FLOOR FINISH	CPT01
GF.09	DROP IN WORKING FLOOR FINISH	CPT01
GF.10	OFFICE FLOOR FINISH	CPT01
GF.11	4 PAX MEETING / OFFICE FLOOR FINISH	CPT01
GF.12	MEETING FLOOR FINISH	CPT01
GF.13	MEETING FLOOR FINISH	CPT01
GF.14	KITCHEN FLOOR FINISH	TF01
GF.16	BREAKOUT FLOOR FINISH	TF01
GF.17	BOOTH FLOOR FINISH	TF01
GF.18	WORKSTATIONS FLOOR FINISH	CPT01
GF.19	UTILITY / PRINT + LOCKERS FLOOR FINISH	CPT01

- GENERAL NOTES**
1. CONFIRM ALL DIMENSIONS AND EXISTING INFRASTRUCTURE ON SITE PRIOR TO CONSTRUCTION.
  2. ALL WORK IS TO COMPLY WITH IN ALL RESPECTS TO THE RELEVANT AUSTRALIAN BUILDING STANDARDS AND LOCAL COUNCIL LAWS / REGULATIONS.
  3. ANY DISCREPANCIES (ON DRAWING OR ON SITE) TO BE REPORTED TO CONTRACTOR PRIOR TO MANUFACTURE.
  4. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DRAWINGS.
  5. DOCUMENTS TO BE READ IN CONJUNCTION WITH CONSULTANTS AND RELEVANT FFE DOCUMENTATION.

1 GENERAL ARRANGEMENT PLAN  
1:100

F	ISSUED FOR TENDER	08.05.24	LC
E	FOR CLIENT APPROVAL	29.04.24	LC
D	FOR CLIENT REVIEW	18.04.24	LC
C	AMENDED FLOOR PLAN	07.03.24	LC
B	FLOOR PLAN 02	28.02.24	LC
REV	DESCRIPTION	DATE	ISSUED BY



LEVEL 2, 109 EDWARD STREET, BRISBNE  
27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

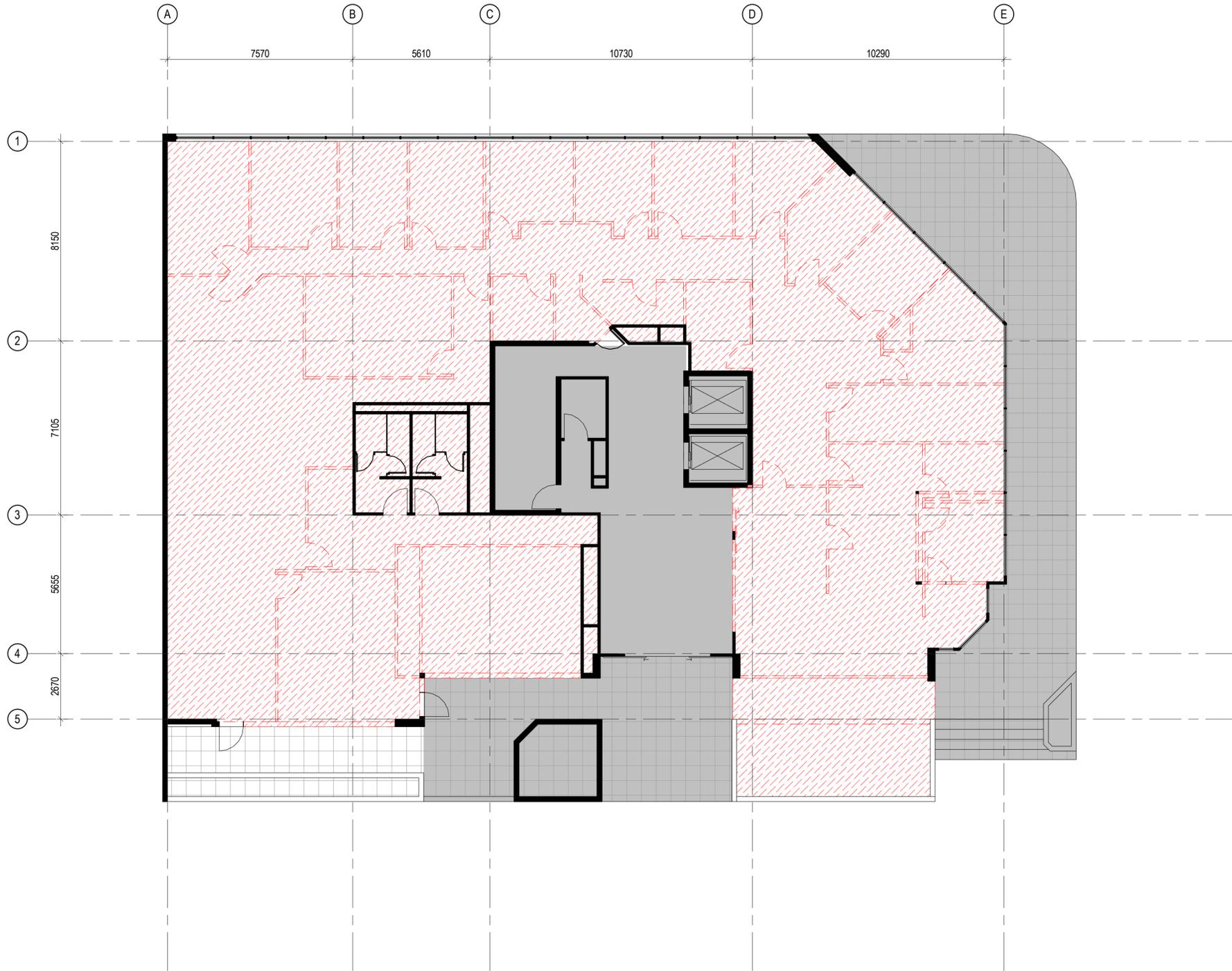
PROJECT NAME / ADDRESS  
ASTOR TERRACE

CLIENT  
DeMartini

DRAWING  
GENERAL ARRANGEMENT PLAN

PROJECT # 2023000  
DATE 08.05.24  
SCALE @ A1 1 : 100 @ A1  
DRAWN WC CHKD LC  
DRAWING # REVISION  
CD 102 F

DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK. Original sheet size A1 (841x594)



1 GENERAL ARRANGEMENT PLAN Copy 1  
1:100

**GENERAL NOTES**

1. CONFIRM ALL DIMENSIONS AND EXISTING INFRASTRUCTURE ON SITE PRIOR TO CONSTRUCTION.
2. ALL WORK IS TO COMPLY WITH IN ALL RESPECTS TO THE RELEVANT AUSTRALIAN BUILDING STANDARDS AND LOCAL COUNCIL LAWS / REGULATIONS.
3. ANY DISCREPANCIES (ON DRAWING OR ON SITE) TO BE REPORTED TO CONTRACTOR PRIOR TO MANUFACTURE.
4. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DRAWINGS.
5. DOCUMENTS TO BE READ IN CONJUNCTION WITH CONSULTANTS AND RELEVANT FFE DOCUMENTATION.

**DEMOLITION NOTES**

1. EXISTING FLOORING NOMINATED WITH APPROPRIATE HATCH TO BE REMOVED AND MAKE GOOD TO ACCEPT BASE BUILDING FLOOR STRUCTURE TO MATCH EXISTING AND TO ACCEPT NEW FLOORING AS PER MANUFACTURER'S SPECIFICATIONS.
2. BASE BUILDING FLOOR STRUCTURE TO MADE LEVEL.
3. EXISTING CEILING TILES AND GRID TO REMAIN WHERE INDICATED.
4. EXISTING SUSPENDED CEILING LIGHT FITTINGS TO REMAIN AND/OR REPOSITIONED TO SUIT PROPOSED FLOOR PLAN LAYOUT.
5. ALL BASE BUILDING WALL / COLUMN SURFACES TO BE MADE GOOD TO MATCH EXISTING AND TO ACCEPT NEW FINISHES AS PER MANUFACTURER'S SPECIFICATIONS.
6. TERMINATE AND CONCEAL ALL UN-USED SERVICES.
7. ALL EXISTING JOINERY, WORKSTATIONS AND FURNITURE TO BE REMOVED UNLESS OTHERWISE STATED.

**DEMOLITION LEGEND**

SYMBOL	DESCRIPTION
	EXISTING BASE BUILDING WALL, COREFW WALL, CONSTRUCTION ON SITE.
	AREA NOT INCLUDED IN SCOPE OF WORKS.
	EXISTING WALL PARTITIONS / FLOORING AND FITTINGS TO BE REMOVED (REFER TO CD 118 + CD 130 FOR NEW DETAILS)
	REMOVE PORTION OF WALL FOR DOOR

REV	DESCRIPTION	DATE	ISSUED BY
C	ISSUED FOR TENDER	08/05/24	LC
B	FOR CLIENT REVIEW	16/04/24	LC
A	DESIGN DEVELOPMENT FOR REVIEW	14/02/24	LC



LEVEL 2, 109 EDWARD STREET, BRISBNE  
27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

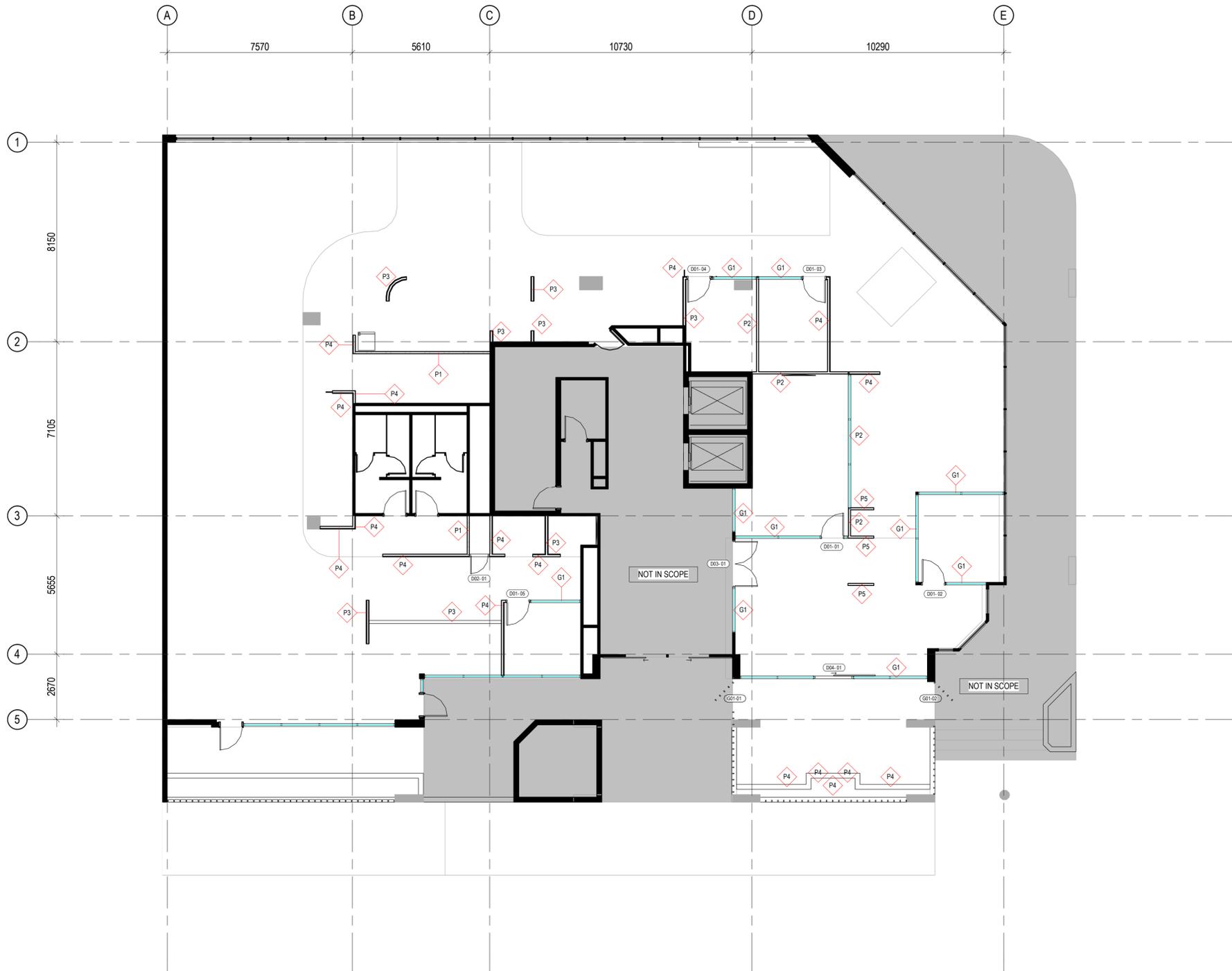
PROJECT NAME / ADDRESS  
ASTOR TERRACE

CLIENT  
DeMartini

DRAWING  
DEMOLITION PLAN

	PROJECT #	2023000
	DATE	08.05.24
	SCALE @ A1	As indicated @ A1
	DRAWN	WC
	CHKD	LC
	DRAWING #	REVISION
	CD 103	C

DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK. Original sheet size A1 (841x594)



WALL TYPE AND FINISHES	
Type Mark	Description
G1	G1 - 105x45 GLAZED FLOOR TO CEILING - CLEAR ANODISED
G2	G1 - 105x45 GLAZED 1400MM AFFL FLOOR TO CEILING - CLEAR ANODISED
P1	13PB+64ST+13PB TO CEILING
P2	P1 + ACOUSTIC INSULATION TO Rw45
P3	P1 + TF01 TO BOTH SIDES
P4	P1 + TF01 TO ONE SIDE - REFER FINISHES PLANS
P5	13MM PLY (WF01) +64ST 13MM PLY (WF01) TO CEILING

REFER TO PARTITION DETAILS CD 600

PARTITION LEGEND	
SYMBOL	DESCRIPTION
	EXISTING BASE BUILDING WALL, CONFORM WALL
	CONSTRUCTION ON SITE
	AREA NOT INCLUDED IN SCOPE OF WORKS
	WALL TYPE REFERENCE - REFER TO CD 600 SERIES FOR PARTITION DETAILS
	REINFORCING TO PARTITION, LAGS WITH ALL RELEVANT CONSULTANTS AND SUB CONTRACTORS STRENGTHENING REQUIREMENTS.
	DOOR REFERENCE CODE REFER TO DOOR SCHEDULE FOR DOOR DETAILS

GENERAL NOTES

1. CONFIRM ALL DIMENSIONS AND EXISTING INFRASTRUCTURE ON SITE PRIOR TO CONSTRUCTION.
2. ALL WORK IS TO COMPLY WITH IN ALL RESPECTS TO THE RELEVANT AUSTRALIAN BUILDING STANDARDS AND LOCAL COUNCIL LAWS / REGULATIONS.
3. ANY DISCREPANCIES (ON DRAWING OR ON SITE) TO BE REPORTED TO CONTRACTOR PRIOR TO MANUFACTURE.
4. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DRAWINGS.
5. DOCUMENTS TO BE READ IN CONJUNCTION WITH CONSULTANTS AND RELEVANT FFE DOCUMENTATION.

PARTITION NOTES

1. THIS DRAWING IS TO BE READ IN CONJUNCTION WITH PARTITION DETAIL DRAWINGS AND SPECIFICATIONS.
2. BUILDER TO CO-ORDINATE WITH JOINERY PACKAGE AND PROVIDE EXTRA STUDS AND NOGGINS AS REQUIRED TO PROVIDE STRENGTH AND STABILITY FOR FIXING OF WALL HUNG JOINERY ITEMS.
3. REFER TO PARTITION DETAIL DRAWINGS FOR DESIGN INTENT OF ALL CONSTRUCTION. IF UNCLEAR SEEK DIRECTION FROM DESIGNER.
4. ALLOW TO PAINT ALL WALLS (INCLUDING BASE BUILDING WALLS & COLUMNS) LOW SHEEN ACRYLIC WITH SPECIFIED WALL COLOUR IN FFE SCHEDULE.
5. ALL DIMENSIONS TO BE CONFIRMED ON SITE
6. PARTITIONS TO BE SET OUT TO ALIGN WITH FINISHED FACES UNLESS NOTED OTHERWISE.
7. ALL TRADES, INCLUDING INSTALLATION AND SUPPLY ITEMS, TO COMPLY WITH RELEVANT & CURRENT BCA STANDARDS.
8. ALL GLAZING TO HAVE GRAPHIC DECAL COMPLYING WITH RELEVANT & CURRENT BCA STANDARDS.
9. REFER TO DOOR SCHEDULE FOR ALL DOOR SIZES & SPECIFICATIONS.
10. ALLOW 5mm SHADOW GAP TO FCL.

REV	DESCRIPTION	DATE	ISSUED BY
D	ISSUED FOR TENDER	08/05/24	LC
C	FOR CLIENT REVIEW	16/04/24	LC
B	FOR INFORMATION	22/02/24	LC
A	DESIGN DEVELOPMENT FOR REVIEW	14/02/24	LC



LEVEL 2, 109 EDWARD STREET, BRISBNE  
 27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

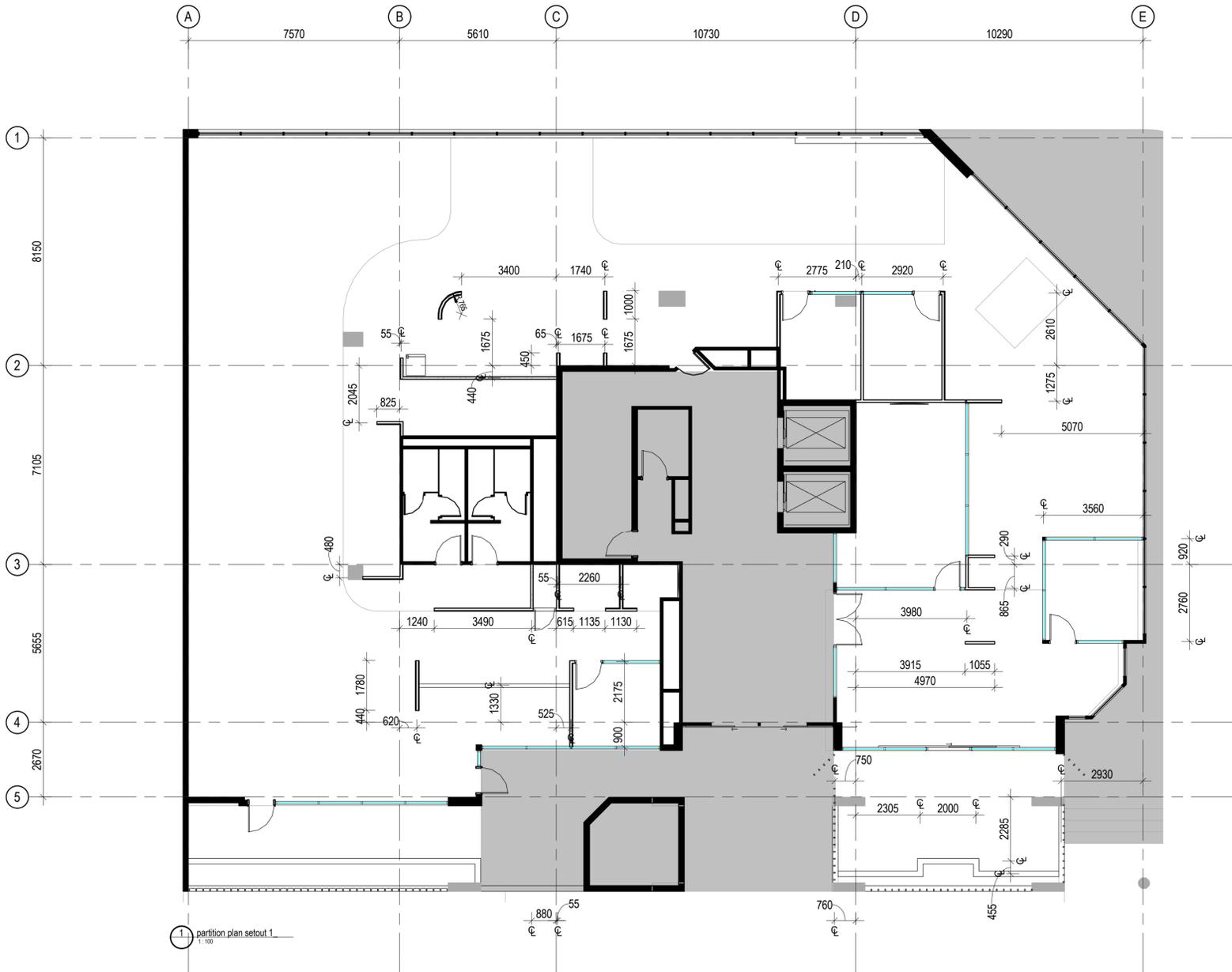
PROJECT NAME / ADDRESS  
 ASTOR TERRACE

CLIENT  
 DeMartini

DRAWING  
 PARTITION PLAN

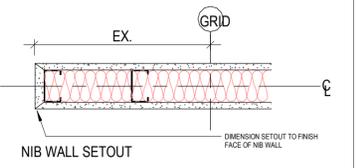
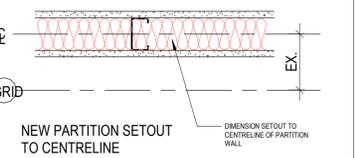
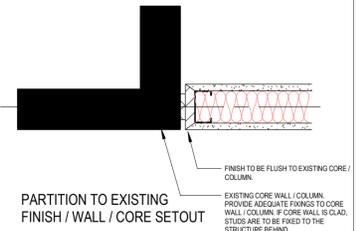
PROJECT # 2023000  
 DATE 08.05.24  
 SCALE @ A1 As indicated @ A1  
 DRAWN WC CHKD LC  
 DRAWING # REVISION  
 CD 110 D

DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK. Original sheet size A1 (841x594)



1 partition plan setout 1  
1:100

- GENERAL NOTES**
1. CONFIRM ALL DIMENSIONS AND EXISTING INFRASTRUCTURE ON SITE PRIOR TO CONSTRUCTION.
  2. ALL WORK IS TO COMPLY WITH IN ALL RESPECTS TO THE RELEVANT AUSTRALIAN BUILDING STANDARDS AND LOCAL COUNCIL LAWS / REGULATIONS.
  3. ANY DISCREPANCIES (ON DRAWING OR ON SITE) TO BE REPORTED TO CONTRACTOR PRIOR TO MANUFACTURE.
  4. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DRAWINGS.
  5. DOCUMENTS TO BE READ IN CONJUNCTION WITH CONSULTANTS AND RELEVANT FFE DOCUMENTATION.



REV	DESCRIPTION	DATE	ISSUED BY
C	ISSUED FOR TENDER	08/05/24	LC
B	FOR CLIENT REVIEW	16/04/24	LC
A	DESIGN DEVELOPMENT FOR REVIEW	14/02/24	LC



LEVEL 2, 109 EDWARD STREET, BRISBNE  
27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

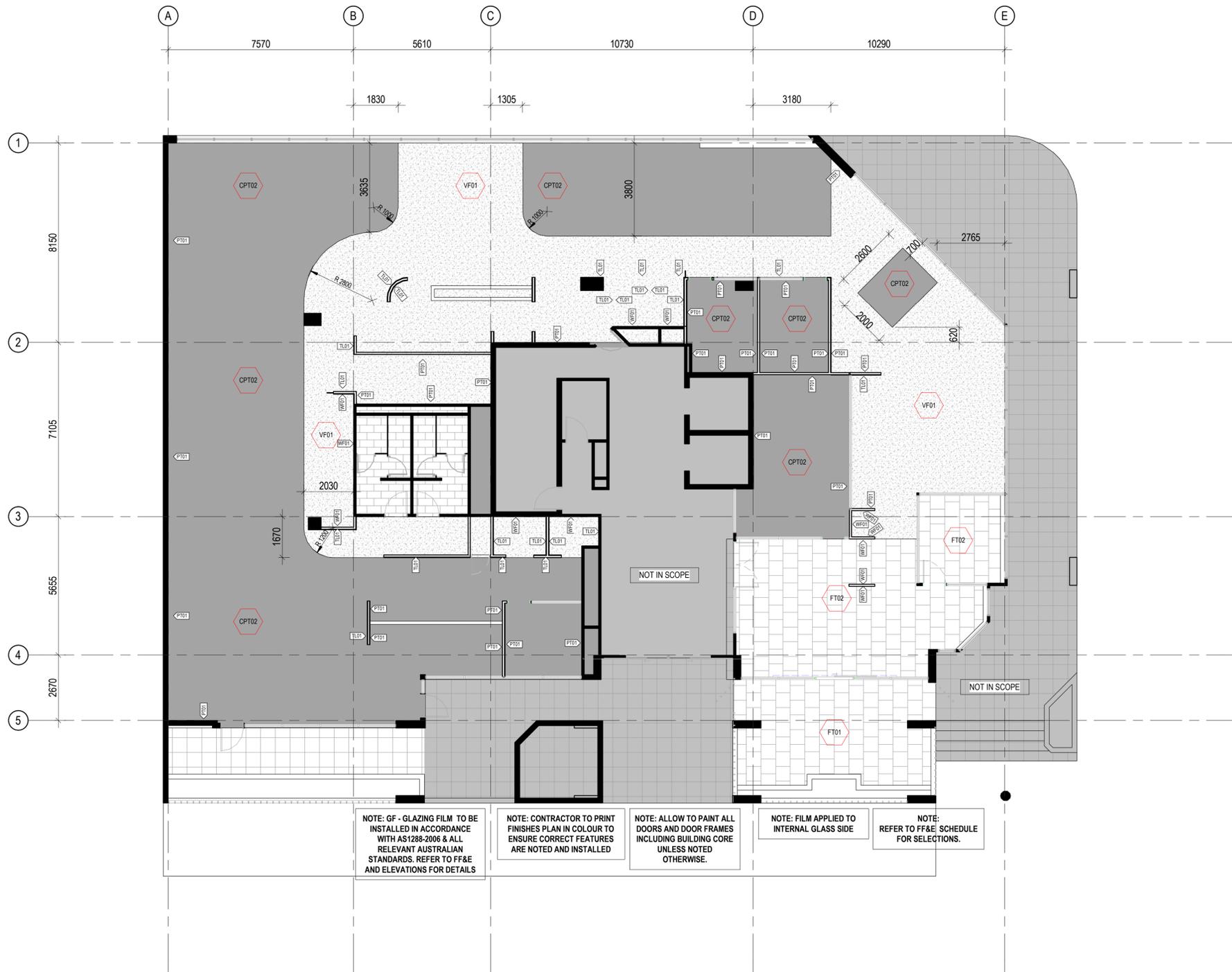
PROJECT NAME / ADDRESS  
ASTOR TERRACE

CLIENT  
DeMartini

DRAWING  
PARTITION SETOUT

PROJECT # 2023000  
DATE 08.05.24  
SCALE @ A1 As indicated @ A1  
DRAWN WC CHKD LC  
DRAWING # REVISION  
CD 112 C

DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK. Original sheet size A1 (841x594)



NOTE: GF - GLAZING FILM TO BE INSTALLED IN ACCORDANCE WITH AS1288-2006 & ALL RELEVANT AUSTRALIAN STANDARDS. REFER TO FF&E AND ELEVATIONS FOR DETAILS

NOTE: CONTRACTOR TO PRINT FINISHES PLAN IN COLOUR TO ENSURE CORRECT FEATURES ARE NOTED AND INSTALLED

NOTE: ALLOW TO PAINT ALL DOORS AND DOOR FRAMES INCLUDING BUILDING CORE UNLESS NOTED OTHERWISE.

NOTE: FILM APPLIED TO INTERNAL GLASS SIDE

NOTE: REFER TO FF&E SCHEDULE FOR SELECTIONS.



- ### GENERAL NOTES
1. CONFIRM ALL DIMENSIONS AND EXISTING INFRASTRUCTURE ON SITE PRIOR TO CONSTRUCTION.
  2. ALL WORK IS TO COMPLY WITH IN ALL RESPECTS TO THE RELEVANT AUSTRALIAN BUILDING STANDARDS AND LOCAL COUNCIL LAWS / REGULATIONS.
  3. ANY DISCREPANCIES (ON DRAWING OR ON SITE) TO BE REPORTED TO CONTRACTOR PRIOR TO MANUFACTURE.
  4. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DRAWINGS.
  5. DOCUMENTS TO BE READ IN CONJUNCTION WITH CONSULTANTS AND RELEVANT FFE DOCUMENTATION.

- ### FINISHES NOTES
1. REFER TO FF&E SCHEDULE FOR SELECTIONS.
  2. ALLOW TO REPAINT ALL DOORS AND DOOR FRAMES INCLUDING BUILDING CORE UNLESS NOTED OTHERWISE.
  3. ALL SOLID DOORS TO BE PAINTED DP1 UNLESS OTHERWISE NOTED.
  4. ALL NEW WALLS & FURRINGS TO BE PAINTED UNLESS OTHERWISE NOTED. WHERE THERE IS NO NEW PLASTERBOARD OVER EXISTING WALLS, BRICKWORK / EXISTING FINISH TO REMAIN.
  5. GF - GLAZING FILM TO BE INSTALLED IN ACCORDANCE WITH AS1288-2006 & ALL RELEVANT AUSTRALIAN STANDARDS. REFER TO FF&E AND ELEVATIONS FOR DETAILS. FILM APPLIED TO INTERNAL SID EOF GLASS.
  6. CONTRACTOR TO PRINT FINISHES PLAN IN COLOUR TO ENSURE CORRECT FEATURES ARE NOTED AND INSTALLED.
  7. UNLESS SPECIFIED OTHERWISE, ALLOW TO PAINT ALL NEW WALLS PT1
  8. PLAN TO BE READ IN CONJUNCTION WITH FINISHES SCHEDULE, ELEVATIONS PACKAGE AND FLOOR JUNCTION DETAILS
  9. FLOOR FINISHES TO ALIGN TO PARTITION EDGE AND CENTRED AT DOOR THRESHOLDS UNLESS NOTED OTHERWISE.
  10. ALL FLOOR JUNCTIONS TO BE LEVEL WHERE FLOOR FINISHES MEET.
  11. ALLOW TRANSITION STRIPS TO ALL FLOOR FINISH JOINS

#### FINISHES LEGEND

SYMBOL	DESCRIPTION
	EXISTING BASE BUILDING WALL, CONFIRM WALL CONSTRUCTION ON SITE
	AREA NOT INCLUDED IN SCOPE OF WORKS
	WALL ELEVATION / SECTION SYMBOL
	FLOOR TYPE REFERENCE CODE
	APPLIED WALL FINISH REFERENCE CODE
	SETOUT POINT

REV	DESCRIPTION	DATE	ISSUED BY
C	ISSUED FOR TENDER	08.05.24	LC
B	FOR CLIENT REVIEW	16.04.24	LC
A	DESIGN DEVELOPMENT FOR REVIEW	14.02.24	LC



LEVEL 2, 109 EDWARD STREET, BRISBNE  
 27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

PROJECT NAME / ADDRESS  
 ASTOR TERRACE

CLIENT  
 DeMartini

DRAWING  
 FINISHES PLAN

PROJECT #	2023000
DATE	08.05.24
SCALE @ A1	As indicated @ A1
DRAWN	WC
CHKD	LC
DRAWING #	REVISION
CD 120	C

DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK. Original sheet size A1 (841x594)



**FURNITURE LEGEND**

	EXISTING BASE BUILDING WALL, CONFIRM WALL CONSTRUCTION ON SITE
	AREA NOT INCLUDED IN SCOPE OF WORKS
	INDICATIVE FULL HEIGHT JOINERY OR WITHIN 600mm BELOW CEILING LINE
	INDICATIVE LOW HEIGHT JOINERY
<b>WS00</b>	WORKSTATION CODES
<b>T00</b>	TABLE CODES
<b>C00</b>	CHAIR CODES
<b>J00</b>	JOINERY CODES
	POWER POLE LOCATION OF POWER POLES TO BE CONFIRMED ON SITE BY CONTRACTOR

- GENERAL NOTES**
1. CONFIRM ALL DIMENSIONS AND EXISTING INFRASTRUCTURE ON SITE PRIOR TO CONSTRUCTION.
  2. ALL WORK IS TO COMPLY WITH IN ALL RESPECTS TO THE RELEVANT AUSTRALIAN BUILDING STANDARDS AND LOCAL COUNCIL LAWS / REGULATIONS.
  3. ANY DISCREPANCIES (ON DRAWING OR ON SITE) TO BE REPORTED TO CONTRACTOR PRIOR TO MANUFACTURE.
  4. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DRAWINGS.
  5. DOCUMENTS TO BE READ IN CONJUNCTION WITH CONSULTANTS AND RELEVANT FFE DOCUMENTATION.

- FURNITURE NOTES**
1. PLANS TO BE READ IN CONJUNCTION WITH FF&E SCHEDULE AND JOINERY PACKAGE
  2. WORKSTATIONS LOCATIONS TO BE MARKED ON SITE PRIOR TO CONSTRUCTION AND INSTALLATION FOR CONTRACTORS APPROVAL.
  3. WORKSTATION AND JOINERY SHOP DRAWINGS MUST BE SUBMITTED TO CONTRACTOR FOR APPROVAL PRIOR TO MANUFACTURING.
  4. REFER TO ELECTRICAL ENGINEERS SPECIFICATIONS FOR REQUIRED POWER AND DATA TO WORKSTATIONS. REFER TO CEILING PLANS FOR POWER POLES.
  5. REFER TO RELEVANT FF&E SCHEDULE FOR TYPE, QUANTITY & FINISH OF LOOSE FURNITURE ITEMS
  6. HEAD CONTRACTOR TO COORDINATE WITH WORKSTATIONS SUBCONTRACTOR FOR DELIVERIES, INSTALLATIONS AND PLACEMENT OF FURNITURE

C	ISSUED FOR TENDER	08/05/24	LC
B	FOR CLIENT REVIEW	16/04/24	LC
A	DESIGN DEVELOPMENT FOR REVIEW	14/02/24	LC
REV	DESCRIPTION	DATE	ISSUED BY



LEVEL 2, 109 EDWARD STREET, BRISBNE  
 27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

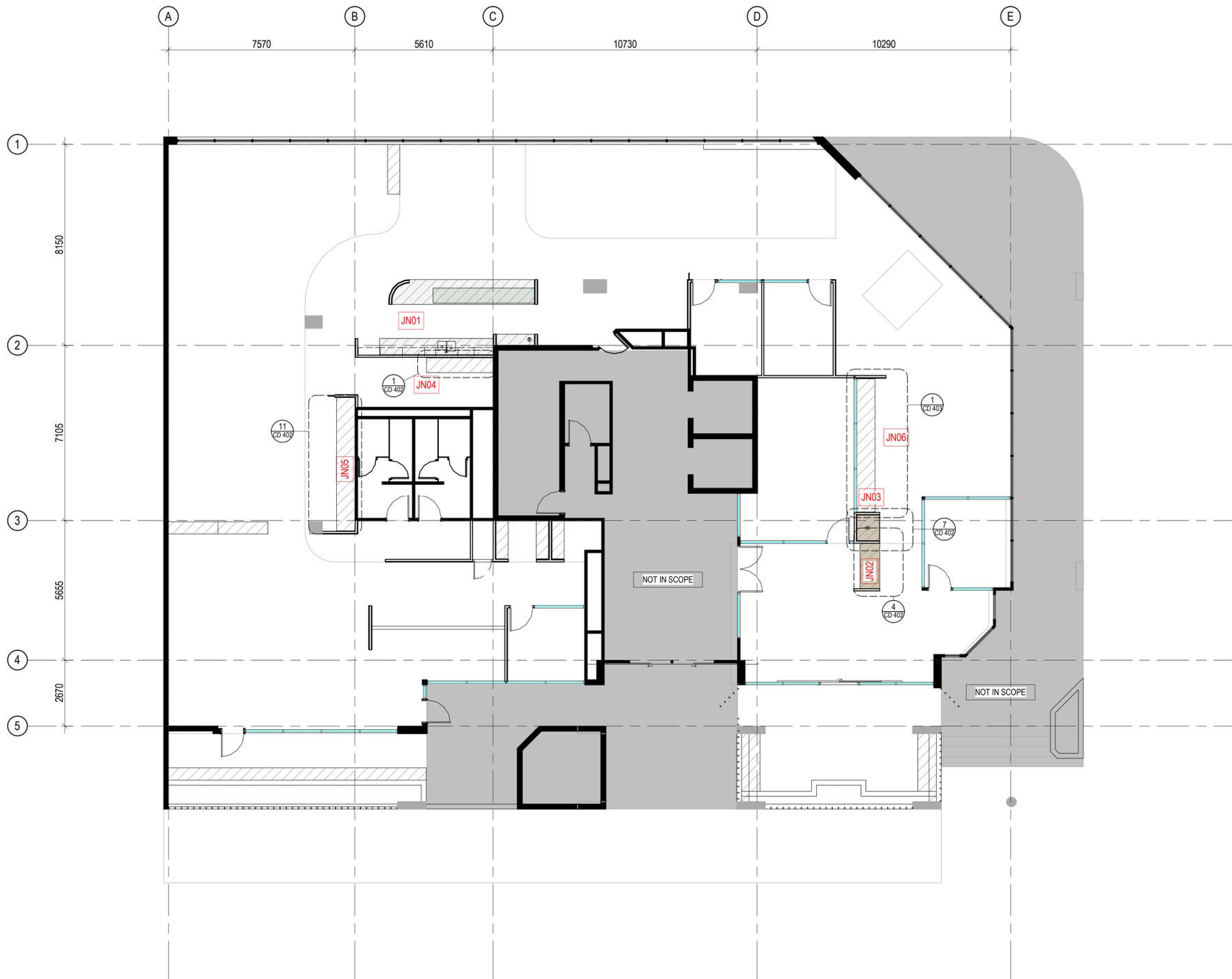
PROJECT NAME / ADDRESS  
 ASTOR TERRACE

CLIENT  
 DeMartini

DRAWING  
 FURNITURE AND JOINERY  
 LOCATION PLAN

PROJECT # 2023000  
 DATE 08.05.24  
 SCALE @ A1 As indicated @ A1  
 DRAWN WC CHKD LC  
 DRAWING # REVISION  
 CD 130 C

DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK. Original sheet size A1 (841x594)



**FURNITURE LEGEND**

SYMBOL	DESCRIPTION
	EXISTING BASE BUILDING WALL, CONFORM WALL, CONSTRUCTION CRACK
	AREA NOT INCLUDED IN SCOPE OF WORKS
	INDICATE FULL HEIGHT JOINERY OR WITHIN 600mm BELOW CEILING LINE
	INDICATE LOW HEIGHT JOINERY
WS00	WORKSTATION CODES
T00	TABLE CODES
C00	CHAIR CODES
JN0	JOINERY CODES
	POWER POLE LOCATION OF POWER POLES TO BE CONFIRMED ON SITE BY CONTRACTOR

- GENERAL NOTES**
1. CONFIRM ALL DIMENSIONS AND EXISTING INFRASTRUCTURE ON SITE PRIOR TO CONSTRUCTION.
  2. ALL WORK IS TO COMPLY WITH IN ALL RESPECTS TO THE RELEVANT AUSTRALIAN BUILDING STANDARDS AND LOCAL COUNCIL LAWS / REGULATIONS.
  3. ANY DISCREPANCIES (ON DRAWING OR ON SITE) TO BE REPORTED TO CONTRACTOR PRIOR TO MANUFACTURE.
  4. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DRAWINGS.
  5. DOCUMENTS TO BE READ IN CONJUNCTION WITH CONSULTANTS AND RELEVANT FFE DOCUMENTATION.

- FURNITURE NOTES**
1. PLANS TO BE READ IN CONJUNCTION WITH FF&E SCHEDULE AND JOINERY PACKAGE
  2. WORKSTATIONS LOCATIONS TO BE MARKED ON SITE PRIOR TO CONSTRUCTION AND INSTALLATION FOR CONTRACTORS APPROVAL.
  3. WORKSTATION AND JOINERY SHOP DRAWINGS MUST BE SUBMITTED TO CONTRACTOR FOR APPROVAL PRIOR TO MANUFACTURING.
  4. REFER TO ELECTRICAL ENGINEERS SPECIFICATIONS FOR REQUIRED POWER AND DATA TO WORKSTATIONS. REFER TO CEILING PLANS FOR POWER POLES.
  5. REFER TO RELEVANT FF&E SCHEDULE FOR TYPE, QUANTITY & FINISH OF LOOSE FURNITURE ITEMS
  6. HEAD CONTRACTOR TO COORDINATE WITH WORKSTATIONS SUBCONTRACTOR FOR DELIVERIES, INSTALLATIONS AND PLACEMENT OF FURNITURE

REV	DESCRIPTION	DATE	ISSUED BY
C	ISSUED FOR TENDER	08/05/24	LC
B	FOR CLIENT REVIEW	16/04/24	LC
A	DESIGN DEVELOPMENT FOR REVIEW	14/02/24	LC



LEVEL 2, 109 EDWARD STREET, BRISBNE  
 27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

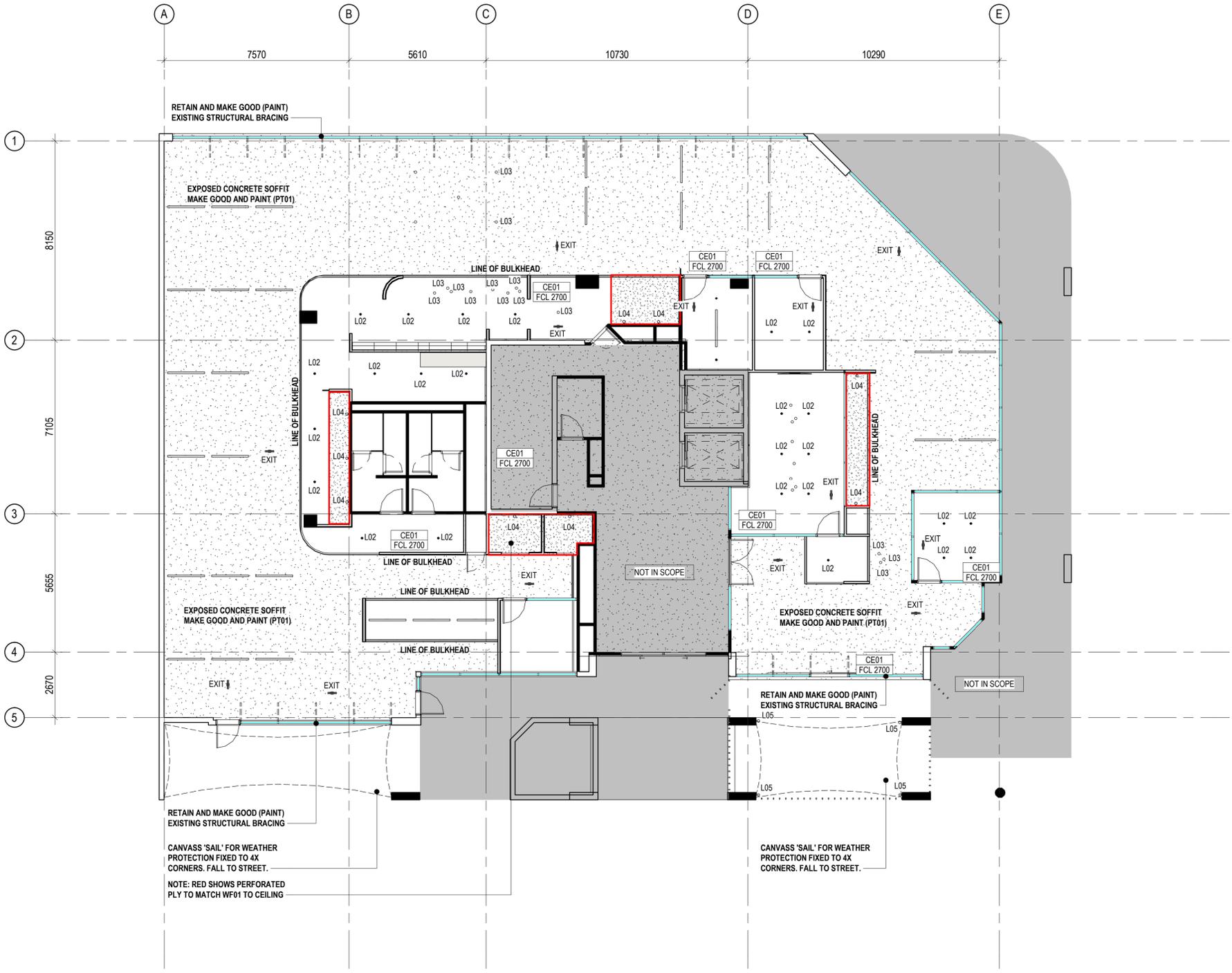
PROJECT NAME / ADDRESS  
 ASTOR TERRACE

CLIENT  
 DeMartini

DRAWING  
 JOINERY PLAN

PROJECT # 2023000  
 DATE 08.05.24  
 SCALE @ A1 As indicated @ A1  
 DRAWN WC CHKD LC  
 DRAWING # REVISION  
 CD 132 C

DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK. Original sheet size A1 (841x594)



SYMBOL	DESCRIPTION
[Symbol]	INDICATIVE FALL HEIGHT ZONE OR WITHIN 600mm BELOW CEILING LINE
000	CEILING REFERENCE CODE ABOVE FINISHED FLOOR LEVEL
FCL 2700	
[Symbol]	SETOUT POINT
[Symbol]	EXIT SIGN
[Symbol]	DOWNLIGHT
[Symbol]	PENDANT LIGHT
[Symbol]	SPITFIRE
[Symbol]	FIRE SPRINKLER
[Symbol]	EXISTING TROFFER LIGHT
[Symbol]	HALF TILE TROFFER LIGHT
[Symbol]	RETURN AIR GRILL

- GENERAL NOTES**
- CONFIRM ALL DIMENSIONS AND EXISTING INFRASTRUCTURE ON SITE PRIOR TO CONSTRUCTION.
  - ALL WORK IS TO COMPLY WITH IN ALL RESPECTS TO THE RELEVANT AUSTRALIAN BUILDING STANDARDS AND LOCAL COUNCIL LAWS / REGULATIONS.
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  - FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DRAWINGS.
  - DOCUMENTS TO BE READ IN CONJUNCTION WITH CONSULTANTS AND RELEVANT FFE DOCUMENTATION.

- REFLECTED CEILING PLAN NOTES**
- REMOVE CEILING TILES TO ACCOMMODATE NEW LIGHTING IN ACCORDANCE WITH REFLECTED CEILING PLAN.
  - INSPECT CEILING TILES & SUPPORTING GRID, NOTIFY THE SITE MANAGER OF ANY DEFECTIVE PANELS.
  - EXISTING SET PLASTERBOARD CEILINGS TO BE MAINTAINED, UNLESS OTHERWISE NOTED. ALLOW NEW PAINT FINISH TO SURFACE.
  - ALLOW TO SUPPLY & INSTALL NEW VERTICAL BLINDS AS SPECIFIED.
  - RELOCATE OR SUPPLY & INSTALL NEW TROFFER DOWNLIGHTS TO MATCH EXISTING AS SHOWN ON THE REFLECTED CEILING PLAN.
  - SUPPLY & INSTALL NEW SUSPENDED LIGHT FITTINGS AS SPECIFIED IN CONJUNCTION WITH DRAWING PACKAGE.
  - SUPPLY & INSTALL ADDITIONAL ILLUMINATED EXIT SIGNS & EMERGENCY LIGHTING WITH RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS.
  - SUPPLY & INSTALL ADDITIONAL AIR DIFFUSERS TO SATISFY RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS.
  - UPGRADE PROVISION FOR SMOKE DETECTION IN ALL ROOMS & AREAS TO SATISFY RELEVANT & CURRENT BUILDING CODES OF AUSTRALIA STANDARDS.
  - INDIVIDUAL SWITCHES TO BE PROVIDED TO MEETING ROOMS & PRIVATE OFFICES. ALL SWITCHES CENTRE TO BE AT 1000mm FFL.
  - ALL TROFFERS THAT CONFLICT WITH NEW WALLS ARE TO BE RELOCATED. CONTRACTOR TO APPROVE POSITIONS ON SITE.
  - LIGHTING SETOUT TO TAKE PRECEDENCE. MECHANICAL AND FIRE SETOUTS TO FOLLOW LIGHTING. CONTRACTOR TO COORDINATE SETOUTS FOR APPROVAL BY CONTRACTOR.
  - CONFIRM ALL LIGHTING LOCATIONS AND HEIGHTS OF PENDANT LIGHTS WITH CONTRACTOR.
  - CONTRACTOR TO ADVISE LOCATION OF DIFFUSER / ACCESS PANELS AND FIRE SERVICES PRIOR TO INSTALLATION. CONTRACTOR TO APPROVE.

**CEILING FINISHES SCHEDULE**

CODE	DESCRIPTION
CE01	FLUSH SET PLASTERBOARD CEILING - PAINTED PT01

REV	DESCRIPTION	DATE	ISSUED BY
C	ISSUED FOR TENDER	08/05/24	LC
B	FOR CLIENT REVIEW	16/04/24	LC
A	DESIGN DEVELOPMENT FOR REVIEW	14/02/24	LC



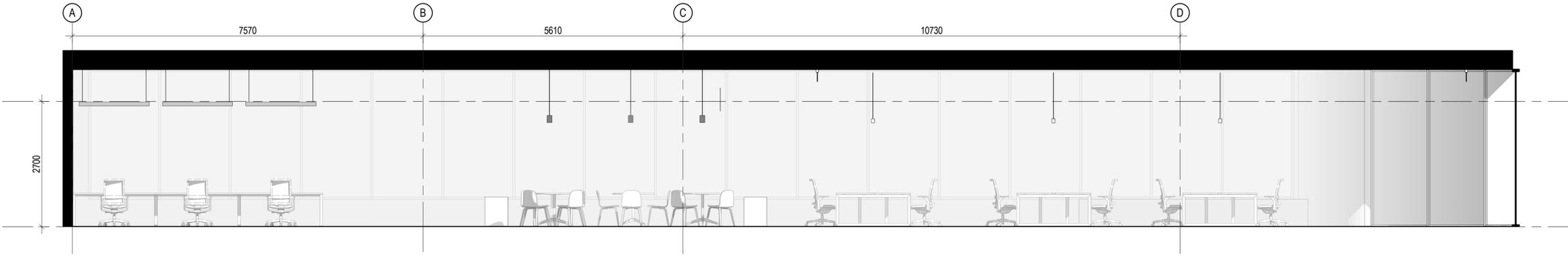
LEVEL 2, 109 EDWARD STREET, BRISBNE  
 27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

PROJECT NAME / ADDRESS	ASTOR TERRACE
CLIENT	DeMartini
DRAWING	REFLECTED CEILING PLAN
PROJECT #	2023000
DATE	08.05.24
SCALE @ A1	As indicated @ A1
DRAWN	WC
CHKD	LC
DRAWING #	REVISION
CD 150	C

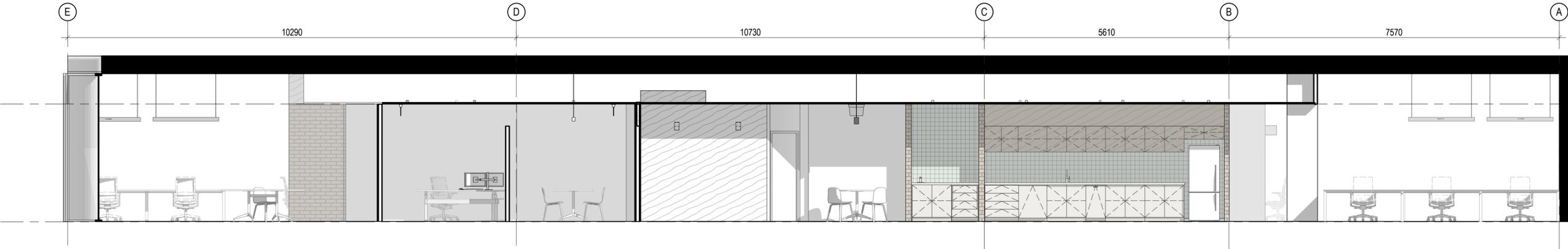
DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK. Original sheet size A1 (841x594)

GENERAL NOTES

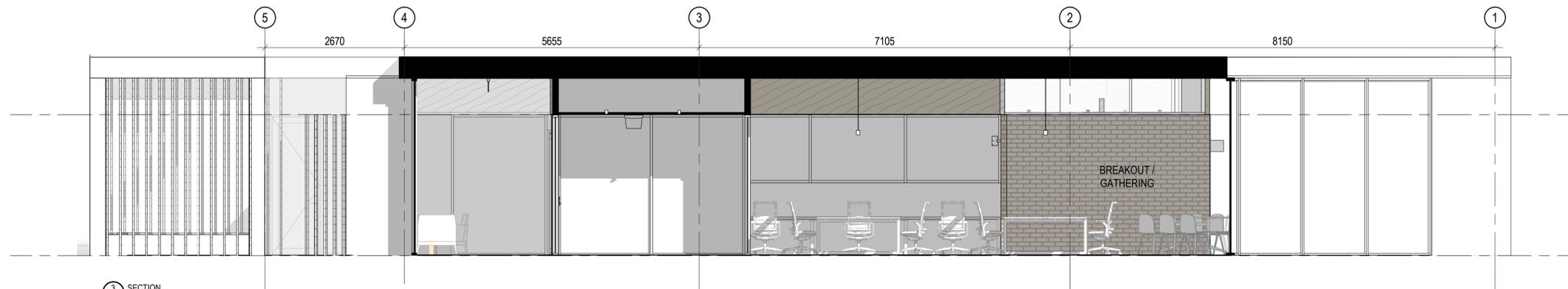
1. CONFIRM ALL DIMENSIONS AND EXISTING INFRASTRUCTURE ON SITE PRIOR TO CONSTRUCTION.
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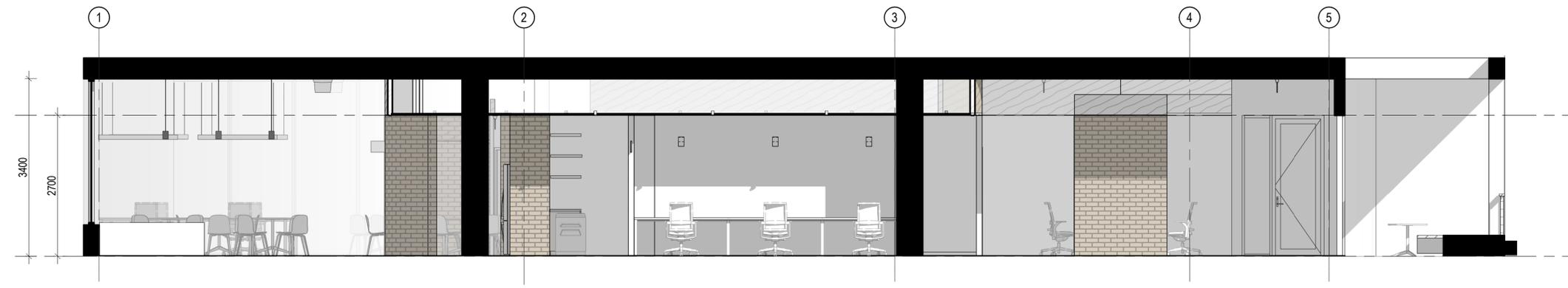
1 SECTION  
1:50



2 SECTION  
1:50



3 SECTION  
1:50



4 SECTION  
1:50

REV	DESCRIPTION	DATE	ISSUED BY
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LEVEL 2, 109 EDWARD STREET, BRISBNE  
27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

PROJECT NAME / ADDRESS  
ASTOR TERRACE

CLIENT  
DeMartini

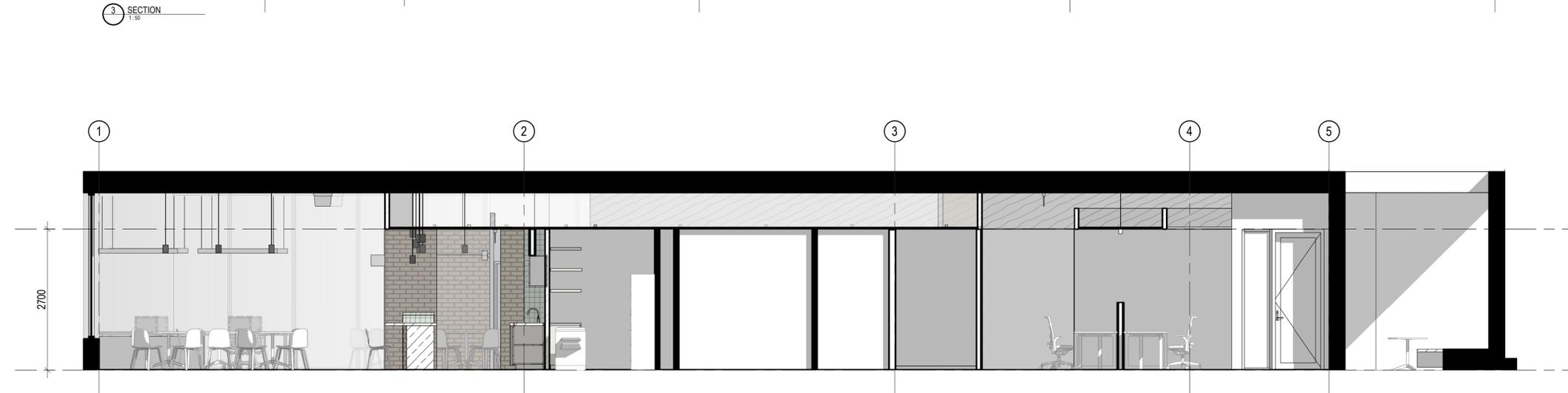
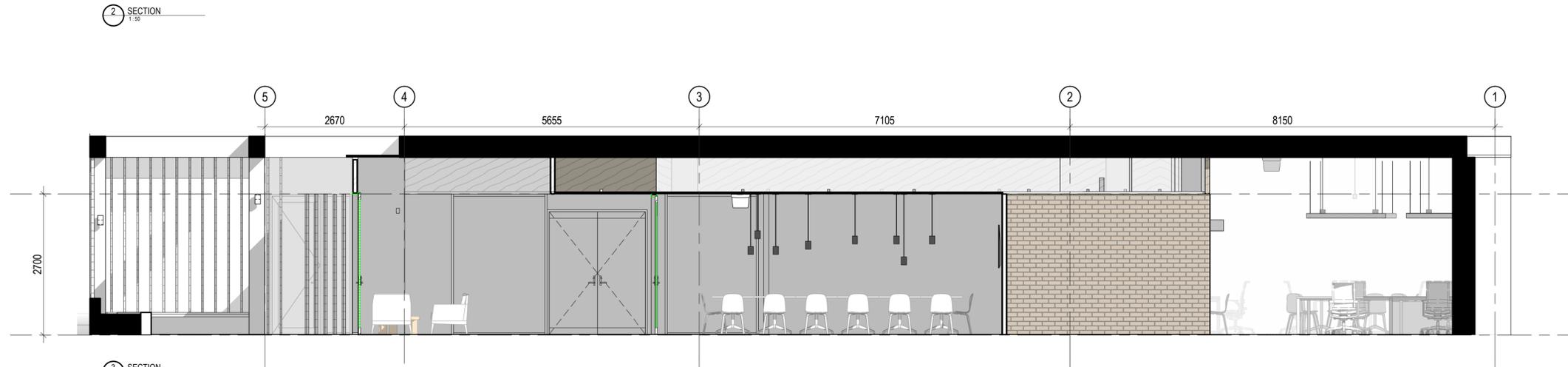
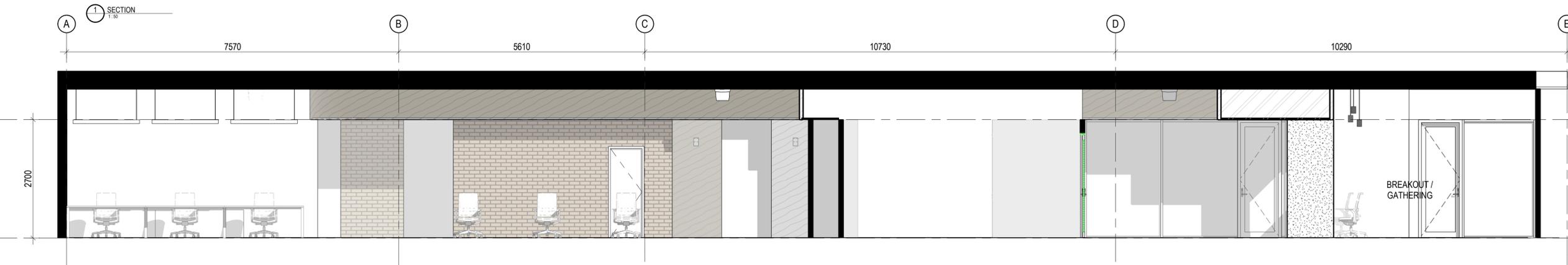
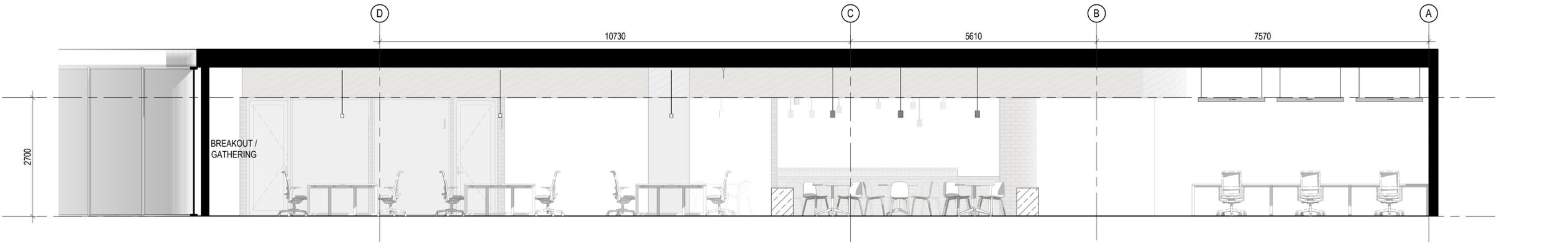
DRAWING  
WALL ELEVATIONS

PROJECT # 2023000  
DATE 08.05.24  
SCALE @ A1 1:50 @ A1  
DRAWN WC CHKD LC  
DRAWING # REVISION  
CD 200 C

DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK. Original sheet size A1 (841x594)

GENERAL NOTES

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LEVEL 2, 109 EDWARD STREET, BRISBANE  
 27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

PROJECT NAME / ADDRESS  
 ASTOR TERRACE

CLIENT  
 DeMartini

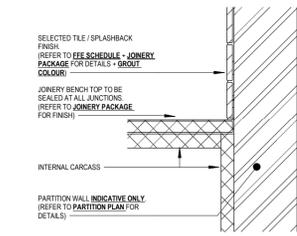
DRAWING  
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 DRAWING # REVISION  
 CD 201 C

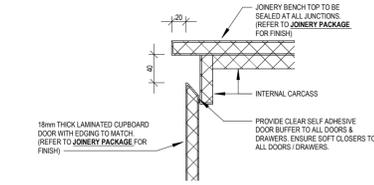
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GENERAL NOTES

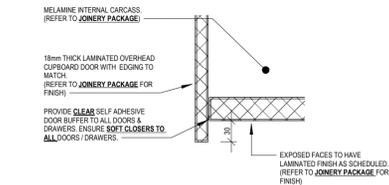
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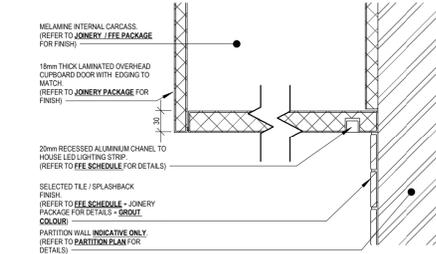
1 JOINERY DETAIL - BENCHTOP TO SPLASHBACK  
1:5



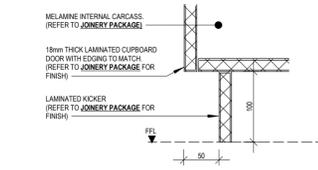
2 JOINERY DETAIL - FINGER PULL  
1:5



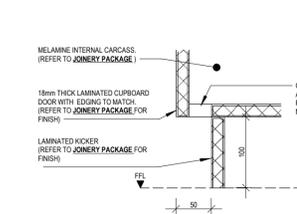
3 JOINERY DETAIL - FINGER PULL OVERHEAD CUPBOARDS  
1:5



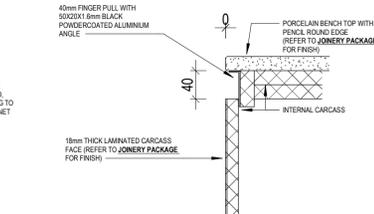
4 JOINERY DETAIL - LED LIGHTING TO OVERHEAD CUPBOARDS  
1:5



5 JOINERY DETAIL - TYPICAL SKIRTING  
1:5



6 JOINERY DETAIL - TYPICAL SKIRTING WITH VENTILATION  
1:5



7 JOINERY DETAIL - STONE TOP  
1:5

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LEVEL 2, 109 EDWARD STREET, BRISBNE  
27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

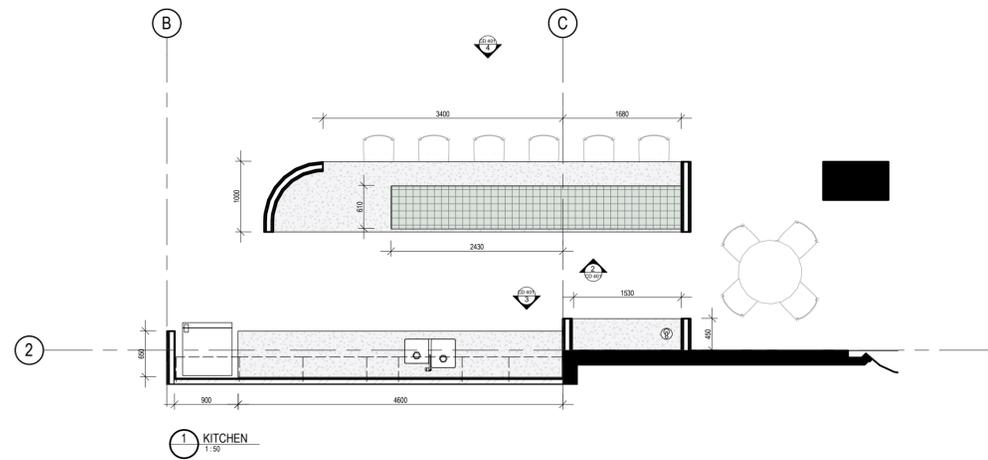
PROJECT NAME / ADDRESS  
ASTOR TERRACE

CLIENT  
DeMartini

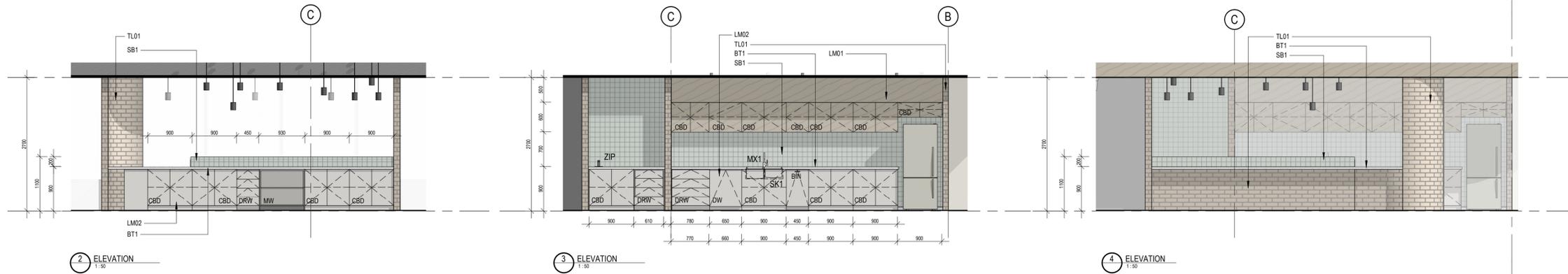
DRAWING  
JOINERY DETAILS

PROJECT # 2023000  
DATE 08.05.24  
SCALE @ A1 1:5 @ A1  
DRAWN WC CHKD LC  
DRAWING # REVISION  
CD 400 C

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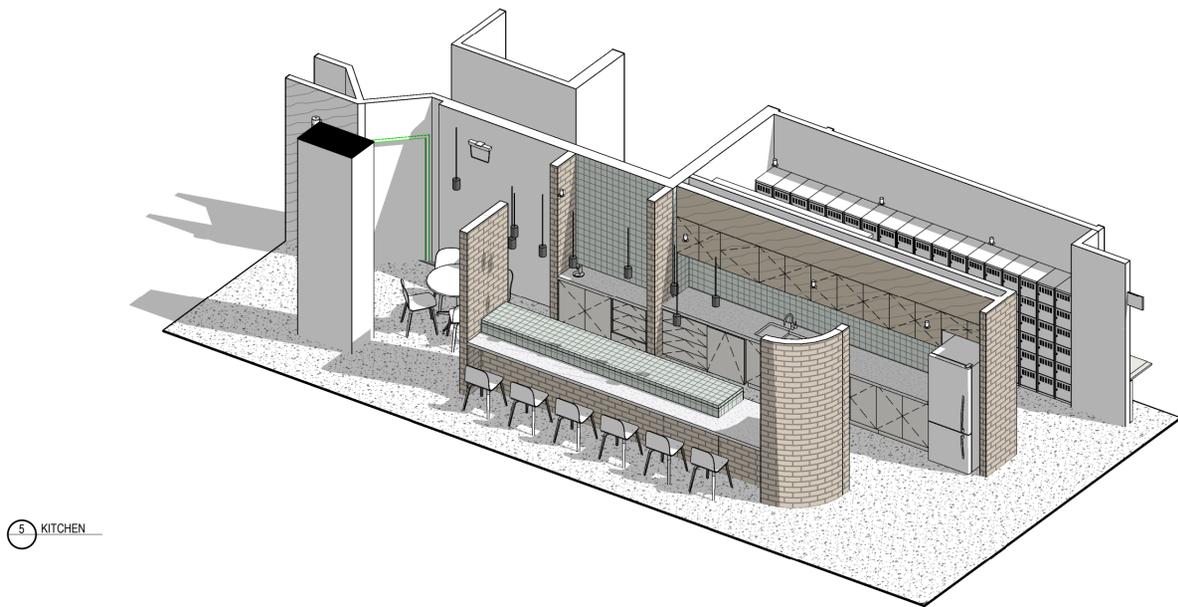
1 KITCHEN  
1:50



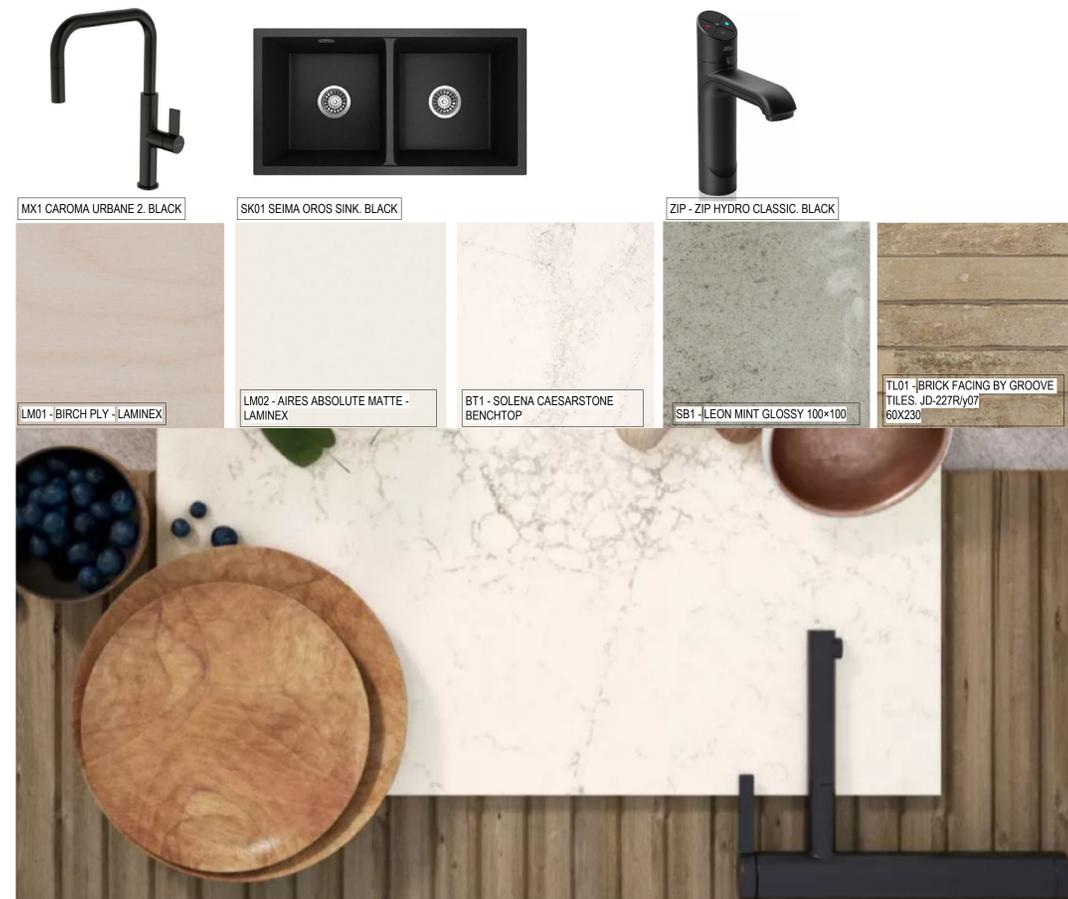
2 ELEVATION  
1:50

3 ELEVATION  
1:50

4 ELEVATION  
1:50



5 KITCHEN



- GENERAL NOTES**
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LEVEL 2, 109 EDWARD STREET, BRISBNE  
27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

PROJECT NAME / ADDRESS  
ASTOR TERRACE

CLIENT  
DeMartini

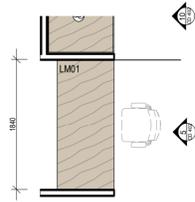
DRAWING  
JOINERY - JN01

PROJECT # 2023000  
DATE 08.05.24  
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DRAWING # REVISION  
CD 401 C

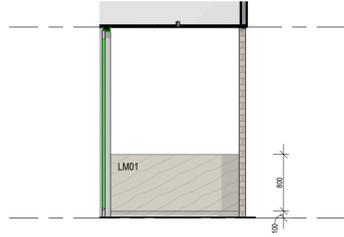
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GENERAL NOTES

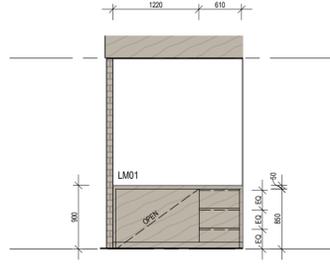
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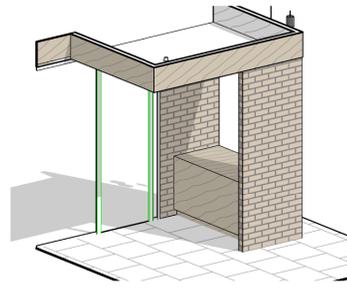
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1:50



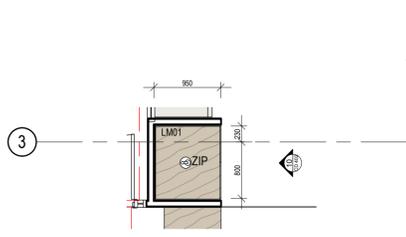
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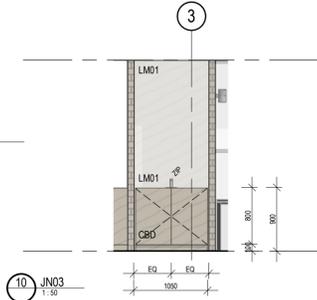
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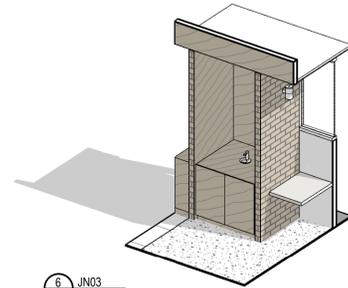
2 JN02



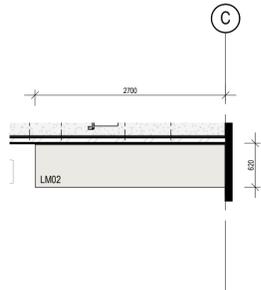
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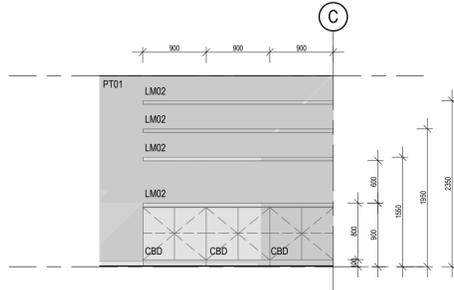
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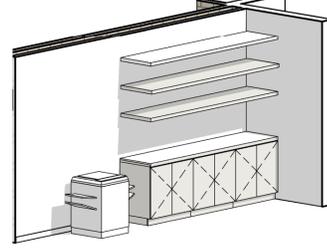
6 JN03



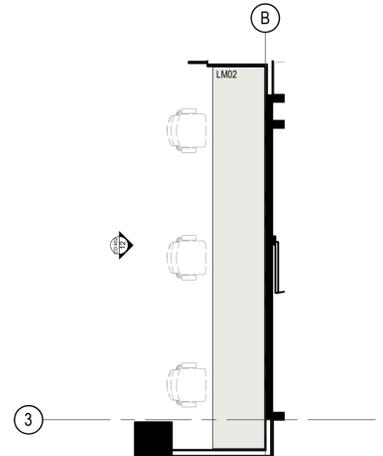
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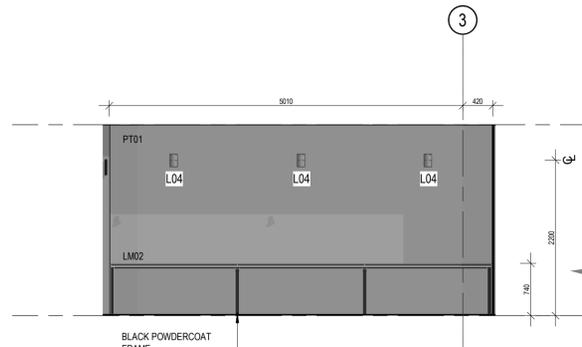
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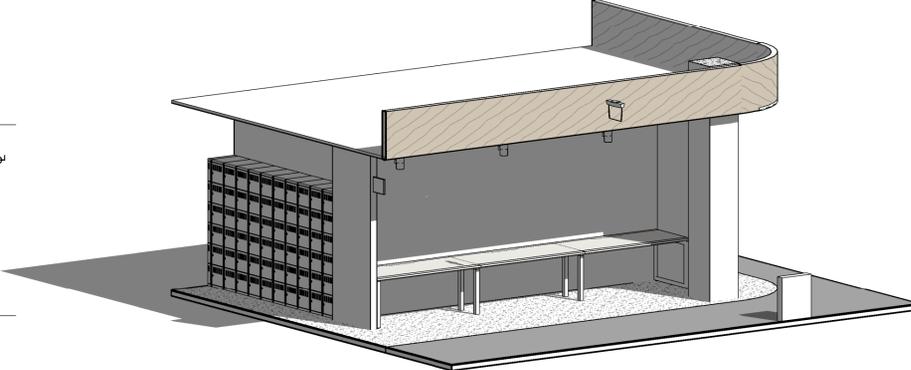
9 JN04



11 JN05  
1:50



12 Elevation 8 - a  
1:50



13 JN05

REV	DESCRIPTION	DATE	ISSUED BY
C	ISSUED FOR TENDER	08/05/24	LC
B	FOR CLIENT REVIEW	16/04/24	LC
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LEVEL 2, 109 EDWARD STREET, BRISBNE  
27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

PROJECT NAME / ADDRESS  
ASTOR TERRACE

CLIENT  
DeMartini

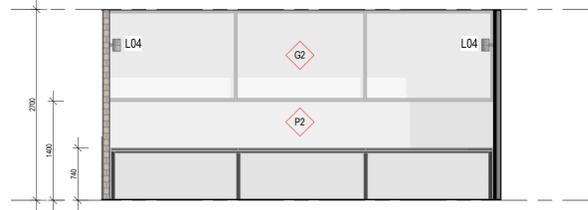
DRAWING  
JOINERY - JN02, JN03, JN04, JN05

PROJECT # 2023000  
DATE 08.05.24  
SCALE @ A1 1:50 @ A1  
DRAWN WC CHKD LC  
DRAWING # REVISION  
CD 402 C

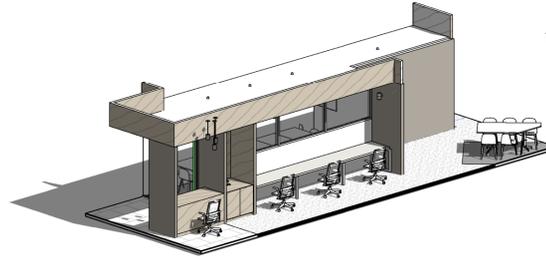
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1 JN06  
1:50



3 JN03  
1:50



2 JN06

GENERAL NOTES

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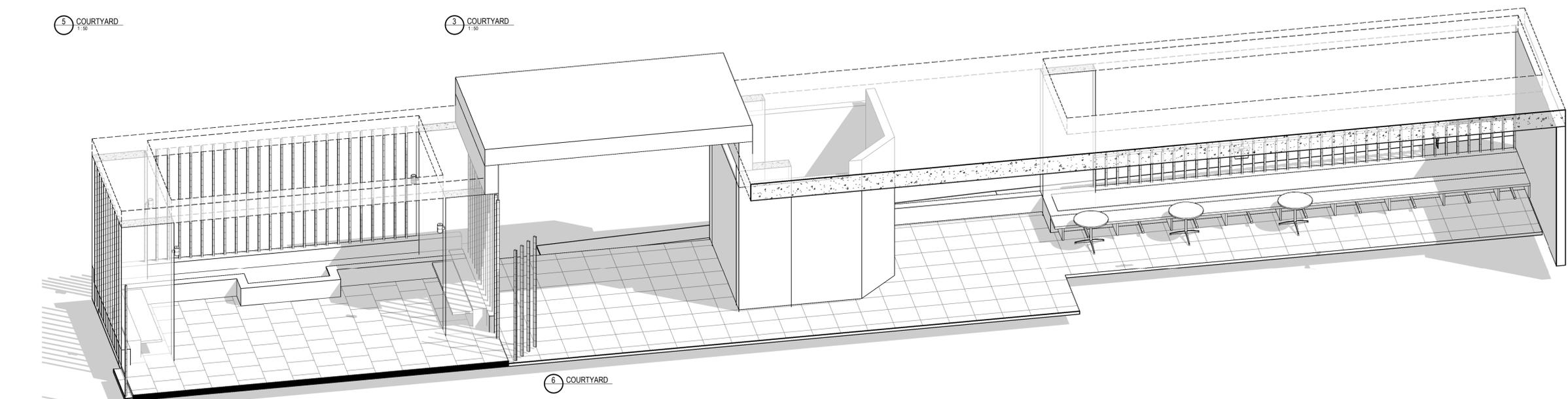
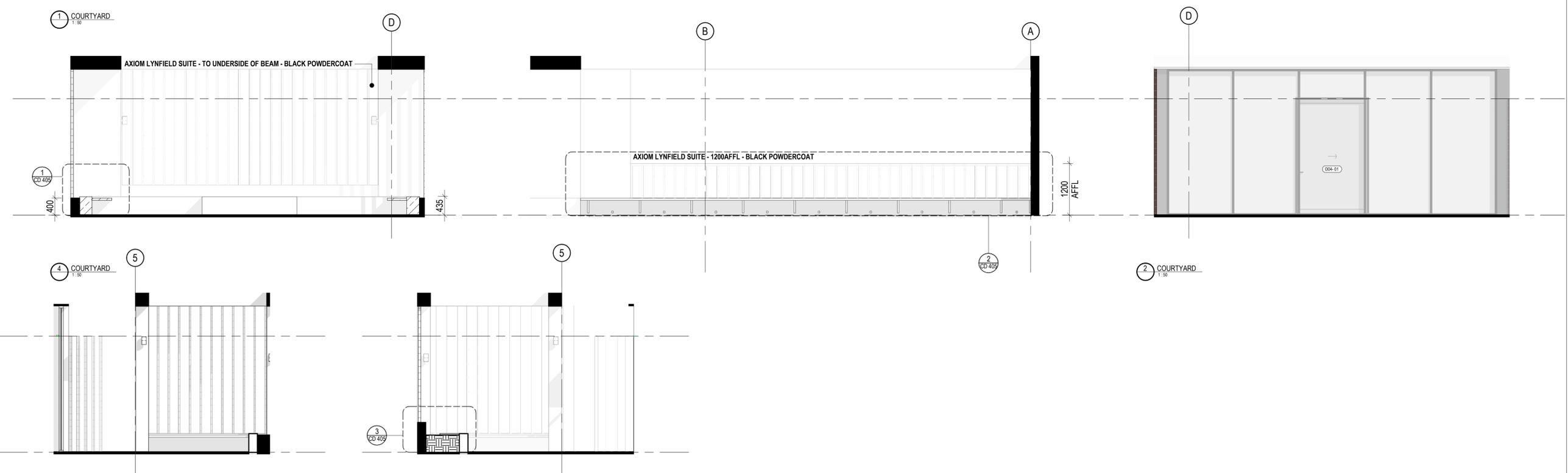
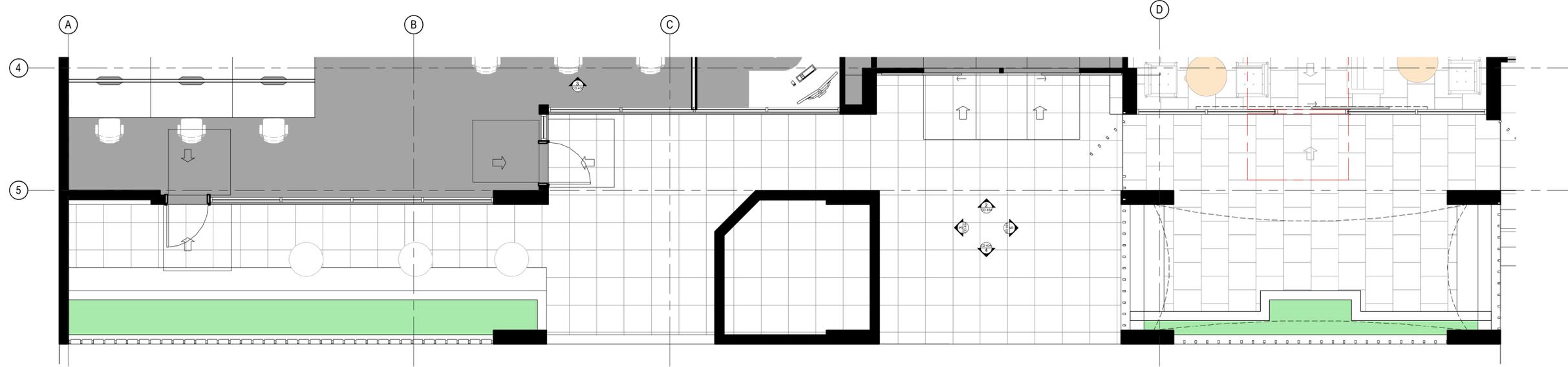
LEVEL 2, 109 EDWARD STREET, BRISBNE  
27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

PROJECT NAME / ADDRESS ASTOR TERRACE	
CLIENT	DeMartini
DRAWING	JOINERY - JN06
PROJECT #	2023000
DATE	08.05.24
SCALE @ A1	1:50 @ A1
DRAWN	WC CHKD LC
DRAWING #	REVISION
CD 403	C

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LEVEL 2, 109 EDWARD STREET, BRISBANE  
 27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

PROJECT NAME / ADDRESS  
 ASTOR TERRACE

CLIENT  
 DeMartini

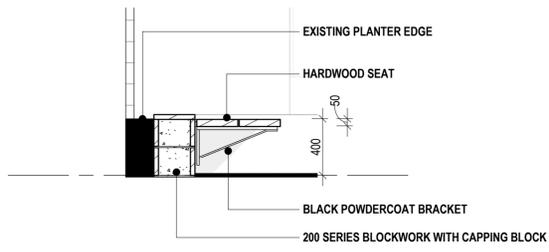
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 COURTYARD

PROJECT # 2023000  
 DATE 08.05.24  
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 DRAWING # REVISION  
 CD 404 C

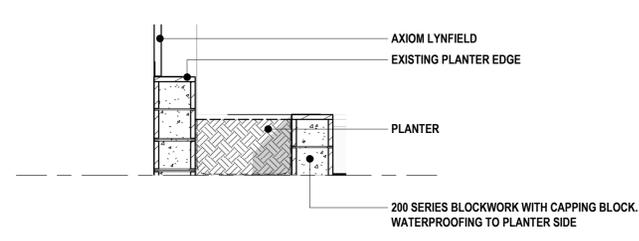
DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK.  
 Original sheet size A1 (841x594)

GENERAL NOTES

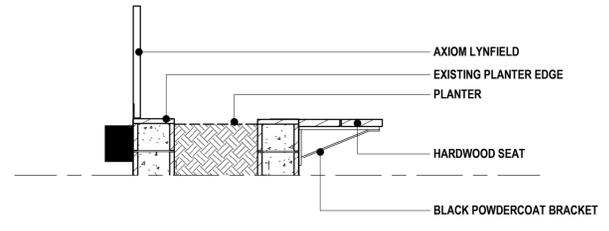
1. CONFIRM ALL DIMENSIONS AND EXISTING INFRASTRUCTURE ON SITE PRIOR TO CONSTRUCTION.
2. ALL WORK IS TO COMPLY WITH IN ALL RESPECTS TO THE RELEVANT AUSTRALIAN BUILDING STANDARDS AND LOCAL COUNCIL LAWS / REGULATIONS.
3. ANY DISCREPANCIES (ON DRAWING OR ON SITE) TO BE REPORTED TO CONTRACTOR PRIOR TO MANUFACTURE.
4. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DRAWINGS.
5. DOCUMENTS TO BE READ IN CONJUNCTION WITH CONSULTANTS AND RELEVANT FFE DOCUMENTATION.



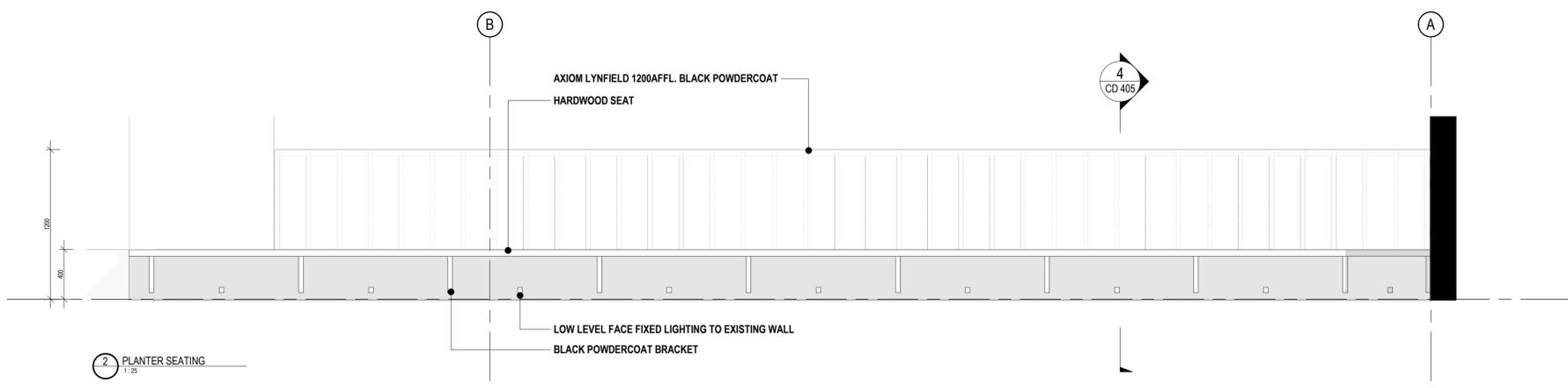
1 PLANTER SEATING  
1:25



3 PLANTER  
1:25



4 Section 9  
1:25



2 PLANTER SEATING  
1:25

C	ISSUED FOR TENDER	08/05/24	LC
B	FOR CLIENT REVIEW	16/04/24	LC
A	DESIGN DEVELOPMENT FOR REVIEW	14/02/24	LC
REV	DESCRIPTION	DATE	ISSUED BY



LEVEL 2, 109 EDWARD STREET, BRISBNE  
27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

PROJECT NAME / ADDRESS  
ASTOR TERRACE

CLIENT  
DeMartini

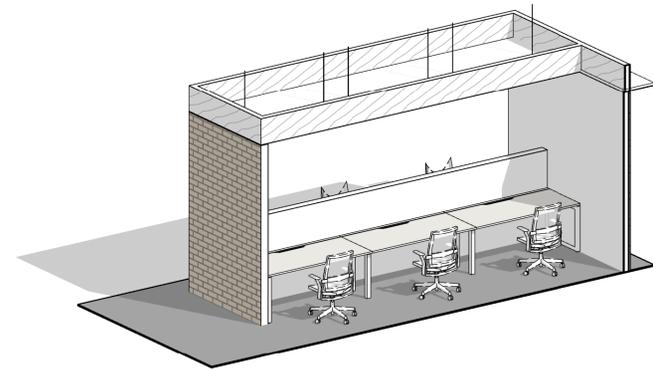
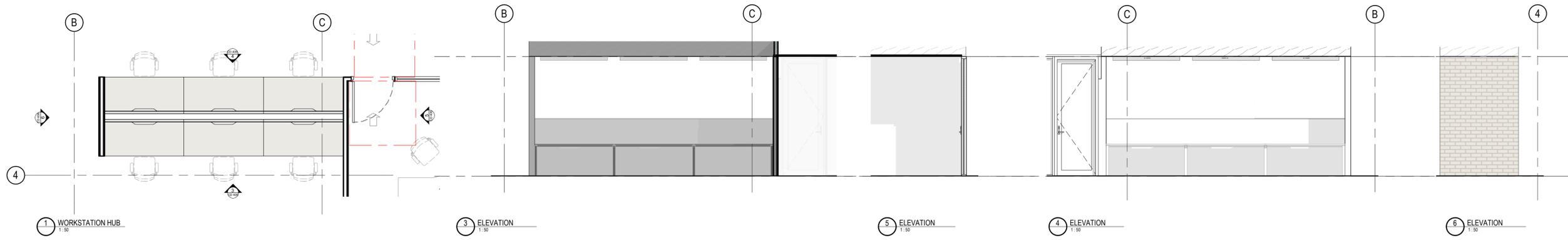
DRAWING  
COURTYARD JOINERY

PROJECT # 2023000  
DATE 08.05.24  
SCALE @ A1 1:25 @ A1  
DRAWN WC CHKD LC  
DRAWING # REVISION  
CD 405 C

DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK. Original sheet size A1 (841x594)

GENERAL NOTES

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2 COURTYARD

REV	DESCRIPTION	DATE	ISSUED BY
C	ISSUED FOR TENDER	08/05/24	LC
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A	DESIGN DEVELOPMENT FOR REVIEW	14/02/24	LC



LEVEL 2, 109 EDWARD STREET, BRISBNE  
 27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

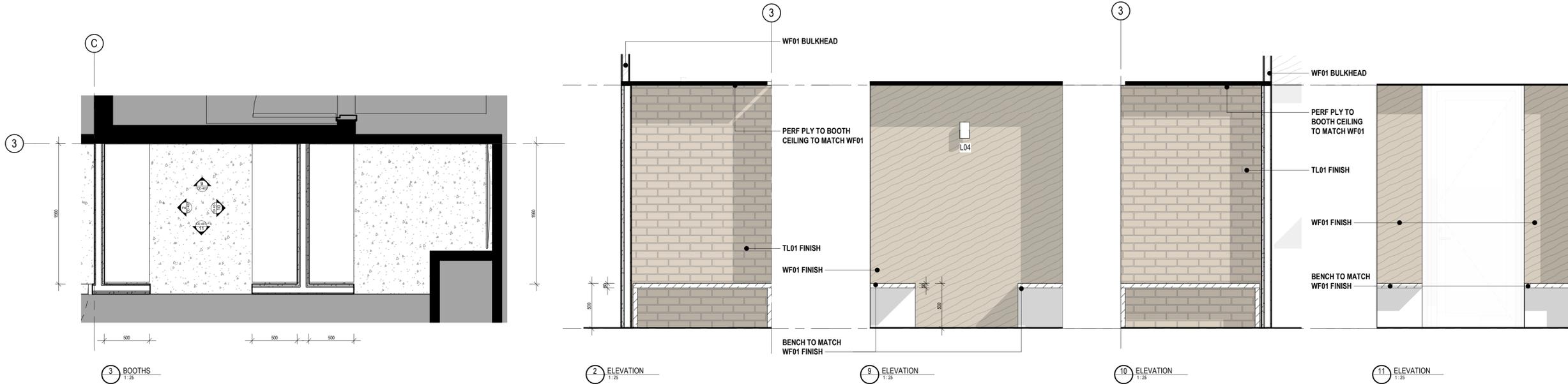
PROJECT NAME / ADDRESS  
 ASTOR TERRACE

CLIENT  
 DeMartini

DRAWING  
 WORKSTATIONS

PROJECT # 2023000  
 DATE 08.05.24  
 SCALE @ A1 1 : 50 @ A1  
 DRAWN WC CHKD LC  
 DRAWING # REVISION  
 CD 406 C

DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK. Original sheet size A1 (841x594)



- GENERAL NOTES**
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LEVEL 2, 109 EDWARD STREET, BRISBNE  
 27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

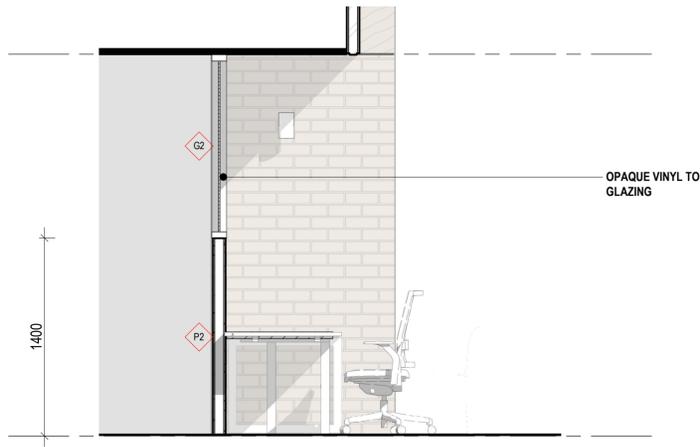
**PROJECT NAME / ADDRESS**  
 ASTOR TERRACE

**CLIENT**  
 DeMartini

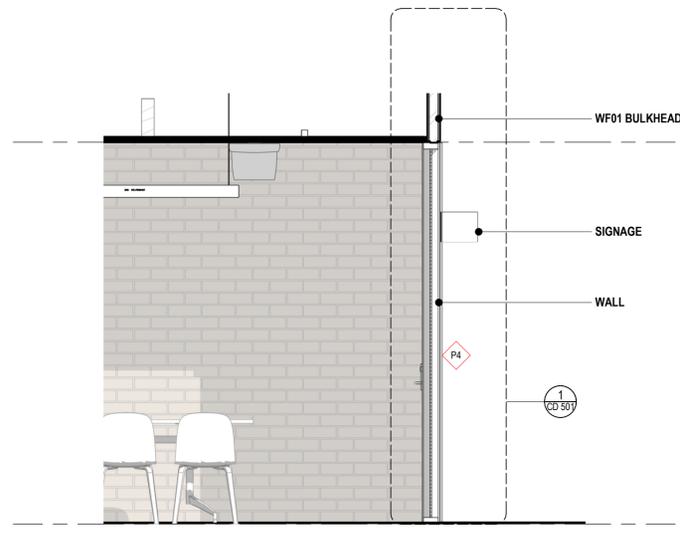
**DRAWING**  
 BOOTHS

**PROJECT #** 2023000  
**DATE** 08.05.24  
**SCALE @ A1** 1 : 25 @ A1  
**DRAWN** WC **CHKD** LC  
**DRAWING #** REVISION  
 CD 407 C

DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK. Original sheet size A1 (8414594)



1 G2 DETAIL  
CD 507  
1:25



2 BULKHEAD  
CD 507  
1:25

GENERAL NOTES

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LEVEL 2, 109 EDWARD STREET, BRISBNE  
27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

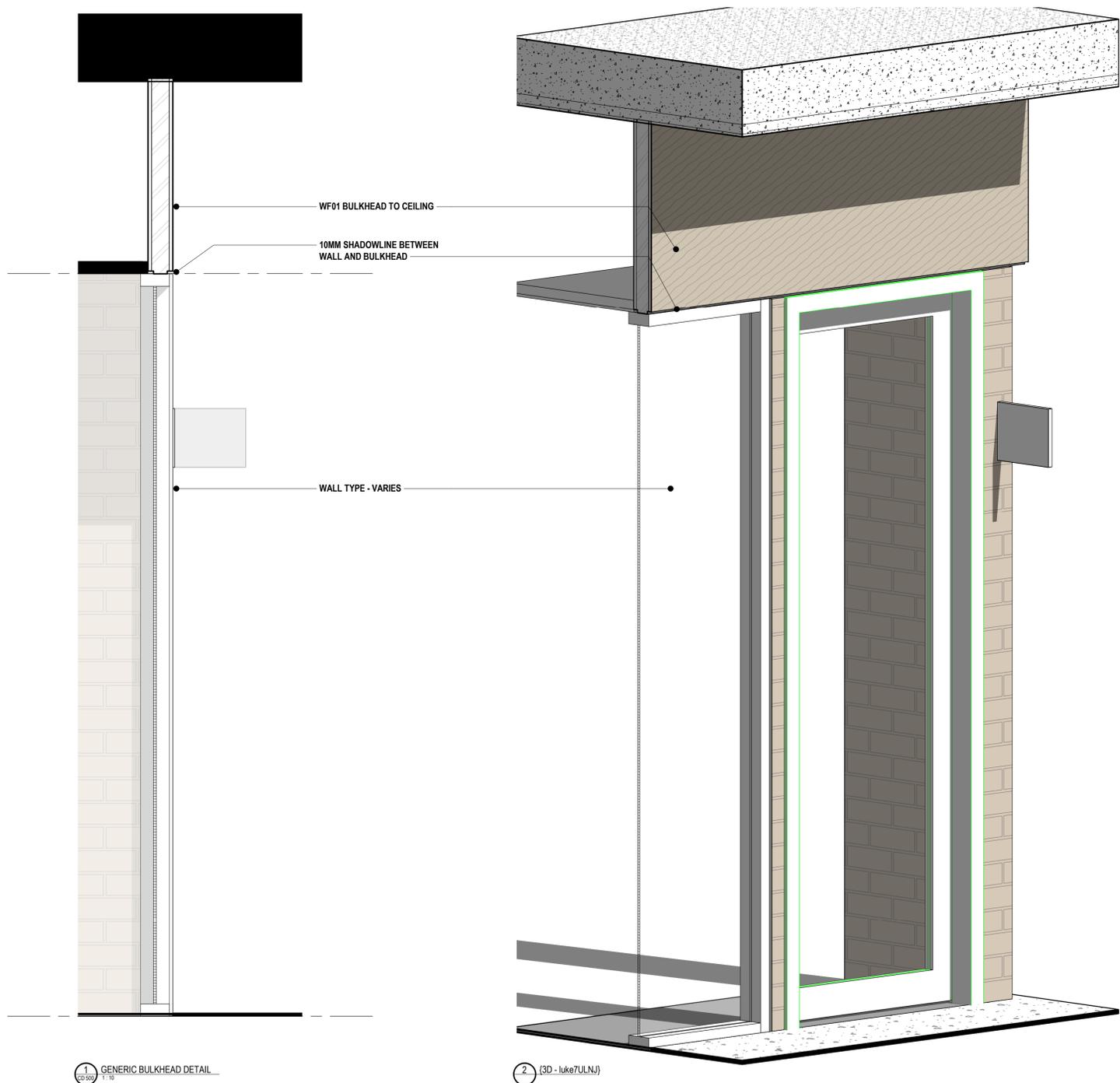
PROJECT NAME / ADDRESS  
ASTOR TERRACE

CLIENT  
DeMartini

DRAWING  
DETAILS

PROJECT # 2023000  
DATE 08.05.24  
SCALE @ A1 1:25 @ A1  
DRAWN WC CHKD LC  
DRAWING # REVISION  
CD 500 C

DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK.  
Original sheet size A1 (841x594)



1  
CD 501  
GENERIC BULKHEAD DETAIL  
1:10

2  
(3D - luke7ULNJ)

GENERAL NOTES

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LEVEL 2, 109 EDWARD STREET, BRISBNE  
27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

PROJECT NAME / ADDRESS  
ASTOR TERRACE

CLIENT  
DeMartini

DRAWING  
DETAILS

PROJECT #	2023000
DATE	08.05.24
SCALE @ A1	1 : 10 @ A1
DRAWN	WC
CHKD	LC
DRAWING #	REVISION
CD 501	C



TRUE NORTH

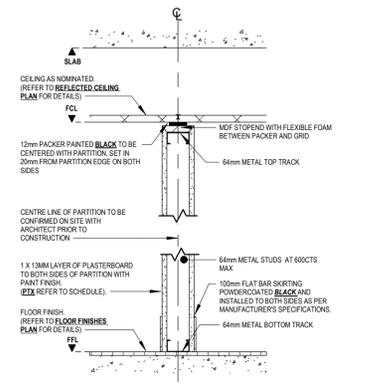
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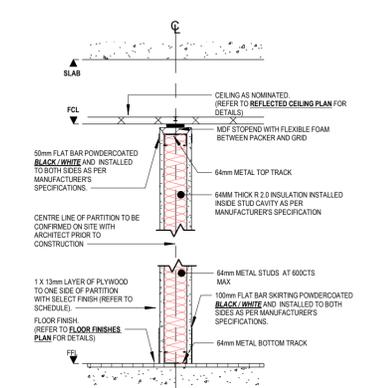
WALL TYPE AND FINISHES

Type Mark	Description
G1	G1 - 105x45 GLAZED FLOOR TO CEILING - CLEAR ANODISED
G2	G1 - 105x45 GLAZED 1400MM AFFL FLOOR TO CEILING - CLEAR ANODISED
P1	13PB+64ST+13PB TO CEILING
P2	P1 + ACOUSTIC INSULATION TO R <sub>w</sub> 45
P3	P1 + TF01 TO BOTH SIDES
P4	P1 + TF01 TO ONE SIDE - REFER FINISHES PLANS
P5	13MM PLY (WF01) +64ST-13MM PLY (WF01) TO CEILING

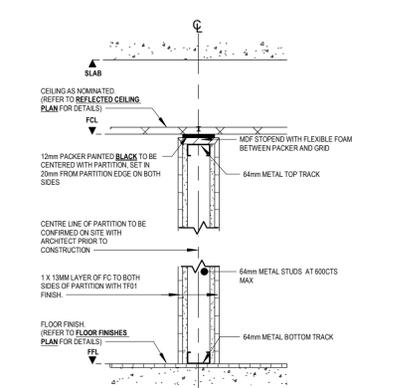
NOTE: G2 GLAZING STARTS AT 1400AFFL AND CONTINUES TO UNDERSIDE OF CEILING. REFER DETAIL.



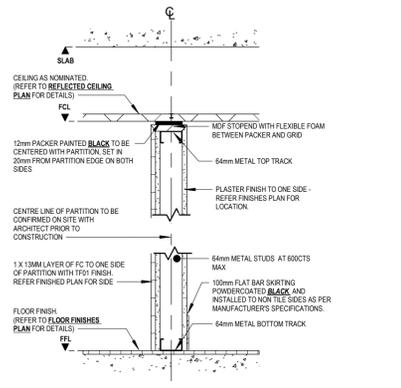
1 P1 - STEEL STUD 13pb + 64ST + 13pb SLAB TO CEILING  
1:10



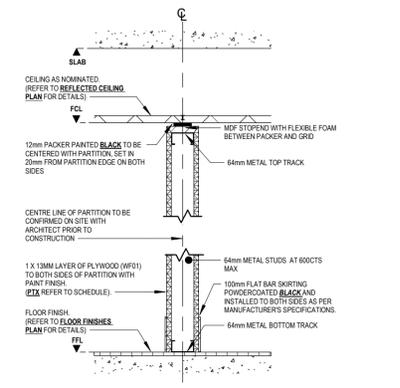
2 P2 - STEEL STUD INSULATED 13pw + 64ST + 13pw SLAB TO CEILING  
1:10



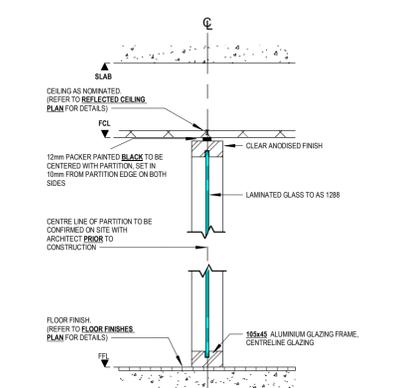
3 P3 - STEEL STUD TF01 + 13pw + 64ST + 13pw + TF01 SLAB TO CEILING  
1:10



4 P4 - STEEL STUD TF01 + 13pw + 64ST + 13pw SLAB TO CEILING  
1:10



5 P5 - STEEL STUD 13ply (WF01) + 64ST + 13ply (WF01) SLAB TO CEILING  
1:10



6 G1 - 105x45 GLAZED FLOOR TO CEILING  
1:10

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LEVEL 2, 109 EDWARD STREET, BRISBNE  
27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

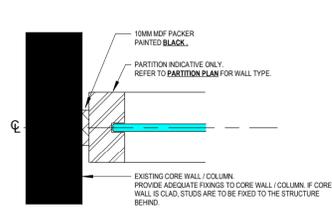
PROJECT NAME / ADDRESS  
ASTOR TERRACE

CLIENT  
DeMartini

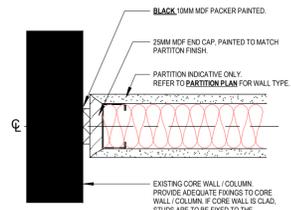
DRAWING  
PARTITION DETAILS

PROJECT #	2023000
DATE	08.05.24
SCALE @ A1	1:10 @ A1
DRAWN	WC
DRAWING #	CHKD LC
CD 600	REVISION C

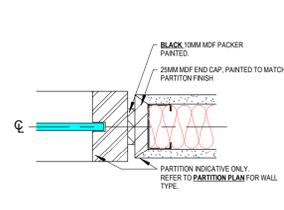
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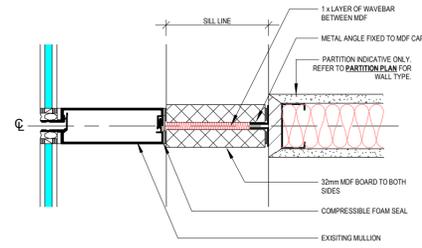
1 PARTITION DETAIL - GLAZING TO EXISTING CORE / COLUMN  
1:5



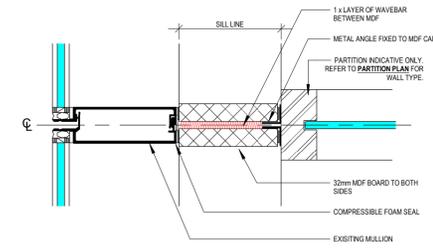
2 PARTITION DETAIL - PB TO EXISTING CORE / COLUMN  
1:5



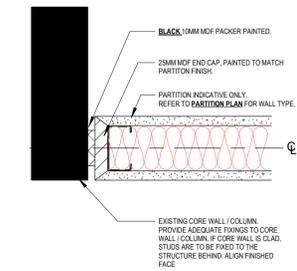
3 PARTITION DETAIL - GLAZING TO PB WALL  
1:5



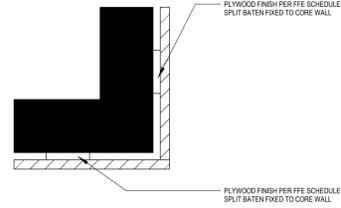
4 PARTITION DETAIL - PB TO EXISTING MULLION  
1:5



5 PARTITION DETAIL - GLAZING TO EXISTING MULLION  
1:5



6 PARTITION DETAIL - PB TO EXISTING CORE / COLUMN FACE  
1:5



9 PARTITION DETAIL - PLYWOOD FINISH TO EXISTING CORE / COLUMN AS FEATURE  
1:5

NOTE: ENSURE FACE OF PLYWOOD SETOUT TO PARTITION WALL

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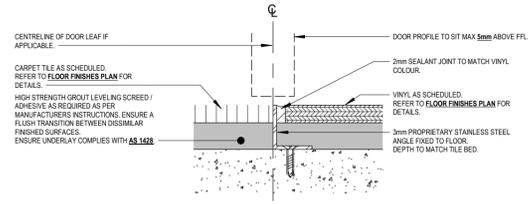
REV	DESCRIPTION	DATE	ISSUED BY
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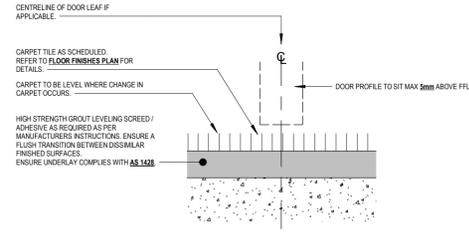
LEVEL 2, 109 EDWARD STREET, BRISBNE  
27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

PROJECT NAME / ADDRESS ASTOR TERRACE	
CLIENT	DeMartini
DRAWING PARTITION JUNCTION DETAILS	
PROJECT #	2023000
DATE	08.05.24
SCALE @ A1	1 : 5 @ A1
DRAWN	WC
DRAWING #	CHKD LC
CD 610	REVISION C

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1 FLOOR JUNCTION DETAIL - CARPET TO VINYL  
1/2



2 FLOOR JUNCTION DETAIL - CARPET TO CARPET  
1/2

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LEVEL 2, 109 EDWARD STREET, BRISBNE  
27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

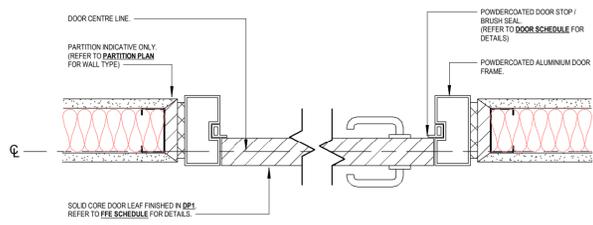
PROJECT NAME / ADDRESS  
ASTOR TERRACE

CLIENT  
DeMartini

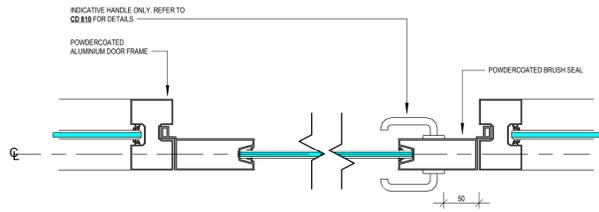
DRAWING  
FLOOR JUNCTION DETAILS

PROJECT # 2023000  
DATE 08.05.24  
SCALE @ A1 1 : 2 @ A1  
DRAWN WC CHKD LC  
DRAWING # REVISION  
CD 620 C

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1 D0\*2 SOLID MDF HINGED PLAN  
1:5



2 DOOR DETAIL\_T3\_SINGLE ALUMINIUM FRAMED HINGED GLASS DOOR PLAN  
1:5

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LEVEL 2, 109 EDWARD STREET, BRISBNE  
27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

PROJECT NAME / ADDRESS  
ASTOR TERRACE

CLIENT  
DeMartini

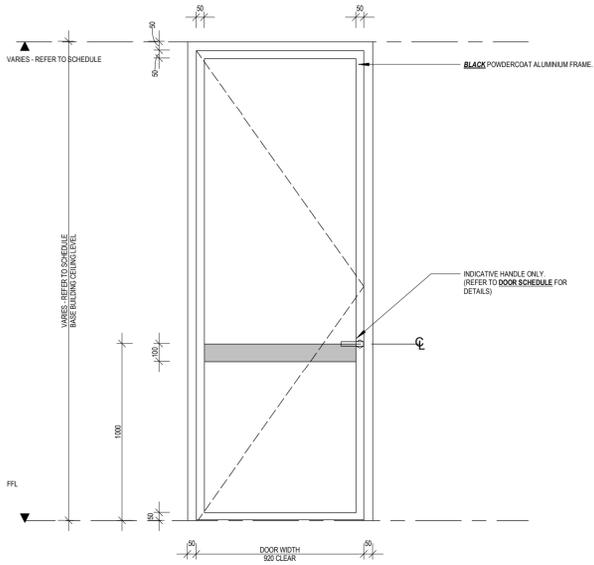
DRAWING  
DOOR PLAN DETAILS

PROJECT #	2023000
DATE	08.05.24
SCALE @ A1	1 : 5 @ A1
DRAWN	WC
CHKD	LC
DRAWING #	REVISION
CD 640	C

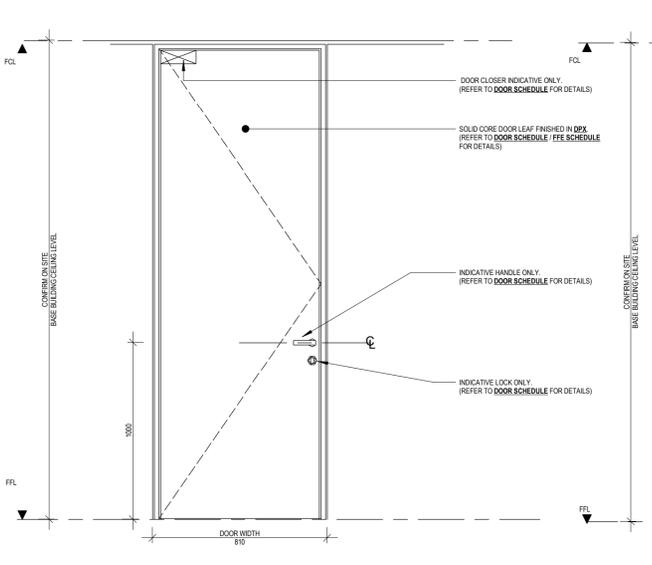
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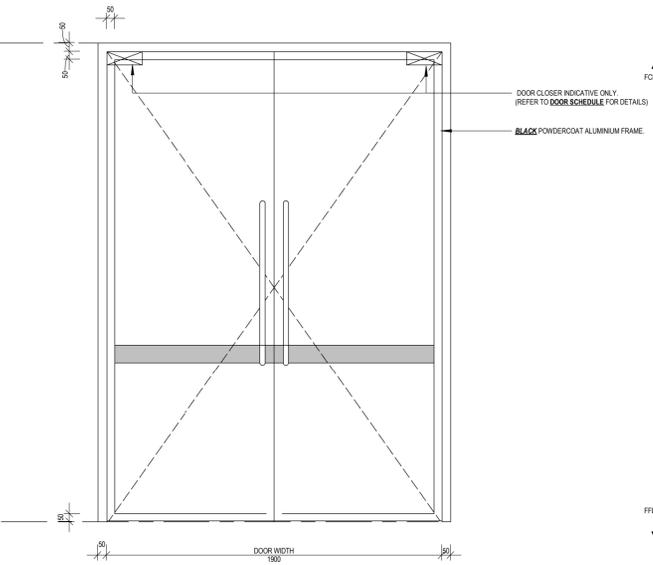
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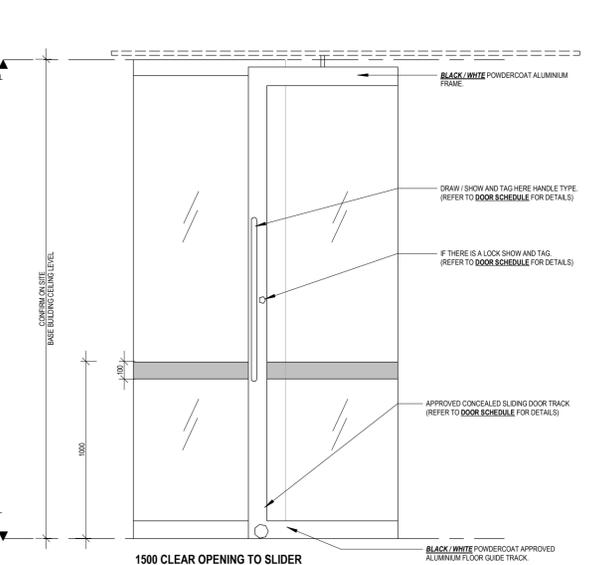
1 D01\_SINGLE ALUMINIUM FRAMED HINGED GLASS DOOR ELEVATION  
1:20



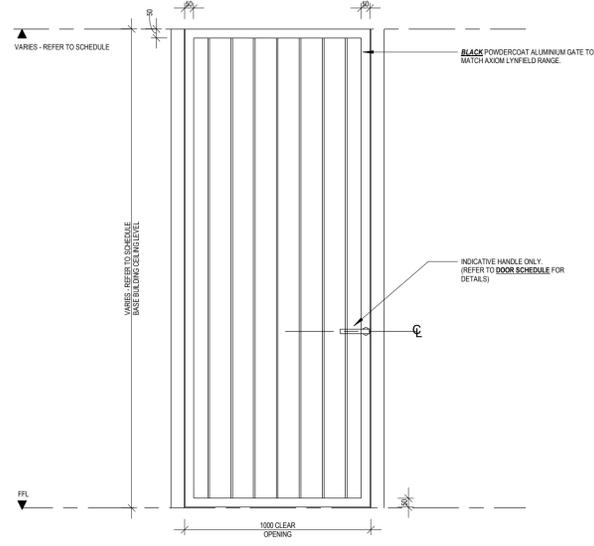
2 D02\_SOLID MDF HINGED ELEVATION  
1:20



3 D03\_DOUBLE ALUMINIUM FRAMED SWING GLASS DOOR ELEVATION  
1:20



4 D04\_ALUMINIUM FRAMED SLIDING DOOR ELEVATION  
1:20



5 G01 - GATE TO MATCH AXIUM LYNFIELD SCREENING  
1:20

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LEVEL 2, 109 EDWARD STREET, BRISBNE  
27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

PROJECT NAME / ADDRESS  
ASTOR TERRACE

CLIENT  
DeMartini

DRAWING  
DOOR SCHEDULE

PROJECT # 2023000  
DATE 08.05.24  
SCALE @ A1 1:20 @ A1  
DRAWN WC CHKD LC  
DRAWING # REVISION  
CD 900 C

DO NOT SCALE FROM DRAWINGS. USE DIMENSIONS INDICATED. ALL DIMENSIONS ARE IN MILLIMETRES. REPORT ANY DISCREPANCIES TO CONTRACTOR BEFORE THE COMMENCEMENT OF WORK. Original sheet size A1 (8414594)

DOOR	CLOSER	HARDWARE	FINISH	COMMENT	LOCKABLE
D01_SINGLE ALUMINIUM FRAMED HINGED GLASS	LOCKWOOD 7726DA SERIES PREMIUM RANGE SURFACE MOUNTED DOOR CLOSER - BLACK	ROSE 1220 SERIES ROUND 1221 (OPERATING) LEVER: 112	BLACK	LEVER 112 IS COMPLIANT WITH 1428.1-2019 DESIGN FOR ACCESS AND MOBILITY ±GENERAL REQUIREMENTS FOR ACCESS.	NO
D02_SOLID MDF HINGED	LOCKWOOD 7726DA SERIES PREMIUM RANGE SURFACE MOUNTED DOOR CLOSER - BLACK	ROSE 1220 SERIES ROUND 1221 (OPERATING) LEVER: 112 INCLUDE LOCKSET	BLACK	LEVER 112 IS COMPLIANT WITH 1428.1-2019 DESIGN FOR ACCESS AND MOBILITY ±GENERAL REQUIREMENTS FOR ACCESS.	YES
D03_DOUBLE ALUMINIUM FRAMED SWING GLASS DOOR	LOCKWOOD 7726DA SERIES PREMIUM RANGE SURFACE MOUNTED DOOR CLOSER - BLACK.	LOCKWOOD PARADIGM PULL HANDLE LOCKSET - SELF LATCHING DOUBLE CYLINDER	BLACK		YES
D04_ALUMINIUM FRAMED SLIDING DOOR_ELEVATION	N/A	LOCKWOOD PARADIGM PULL HANDLE LOCKSET - SELF LATCHING SINGLE CYLINDER	BLACK		YES
G01_AXIOM LYNFIELD SUITE	N/A	AXIOM GATE. BLACK GATE LATCH AND HANDLE WITH LOCKSET	BLACK		YES

GENERAL NOTES

1. CONFIRM ALL DIMENSIONS AND EXISTING INFRASTRUCTURE ON SITE PRIOR TO CONSTRUCTION.
2. ALL WORK IS TO COMPLY WITH IN ALL RESPECTS TO THE RELEVANT AUSTRALIAN BUILDING STANDARDS AND LOCAL COUNCIL LAWS / REGULATIONS.
3. ANY DISCREPANCIES (ON DRAWING OR ON SITE) TO BE REPORTED TO CONTRACTOR PRIOR TO MANUFACTURE.
4. FIGURED DIMENSIONS TO BE TAKEN IN PREFERENCE TO SCALED DRAWINGS.
5. DOCUMENTS TO BE READ IN CONJUNCTION WITH CONSULTANTS AND RELEVANT FFE DOCUMENTATION.

REV	DESCRIPTION	DATE	ISSUED BY
C	ISSUED FOR TENDER	08/05/24	LC
B	FOR CLIENT REVIEW	16/04/24	LC
A	DESIGN DEVELOPMENT FOR REVIEW	14/02/24	LC



LEVEL 2, 109 EDWARD STREET, BRISBNE  
 27-9, NIHONBASHI HAKOZAKICHO, CHUO-KU, TOKYO

PROJECT NAME / ADDRESS ASTOR TERRACE	
CLIENT DeMartini	
DRAWING DOOR HARDWARE SCHEDULE	
PROJECT #	2023000
DATE	08.05.24
SCALE @ A1	@ A1
DRAWN WC	CHKD LC
DRAWING #	REVISION
CD 901	C

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